

PLANNING COMMITTEE

**Wednesday, 1 December
2021**

5.30 pm

**Committee Rooms 1-2, City
Hall**

- Membership: Councillors Naomi Tweddle (Chair), Bob Bushell (Vice-Chair), Biff Bean, Chris Burke, Liz Bushell, Gary Hewson, Bill Mara, Rebecca Longbottom, Mark Storer, Edmund Strengiel and Calum Watt
- Substitute members: Councillors Bill Bilton and Neil Murray
- Officers attending: Simon Cousins, Democratic Services, Kieron Manning, Dave Walker and Louise Simpson
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The Planning Committee comprises democratically elected members who will be presented with a recommendation from the professional officers for each application on the agenda. After each application has been presented, those interested parties who have registered to speak will then be given 5 minutes to verbally present their views, and, following this, the committee will debate each proposal and make the decision, having considered all relevant information.

Clearly the process of making a decision will inevitably cause some people to feel aggrieved, but it is hoped that all interested parties will feel that their views have been considered as part of the process.

Please ensure that your mobile phones are switched off or set to silent throughout the meeting and please refrain from attempting to speak from the public gallery unless you have formally registered to speak on an application, in which case the Chair will call you to the table at the relevant time.

A G E N D A

| SECTION A | Page(s) |
|--|---------------------|
| 1. Confirmation of Minutes - 3 November 2021 | 5 - 12 |
| 2. Declarations of Interest | |
| Please note that, in accordance with the Members' Code of Conduct, when declaring interests members must disclose the existence and nature of the interest, and whether it is a disclosable pecuniary interest (DPI) or personal and/or pecuniary. | |
| 3. Update Sheet | To Be Tabled |

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| 4. Work to Trees in City Council Ownership | 13 - 18 |
| 5. Applications for Development | |
| (a) Land Adjacent to Yarborough Leisure Centre, Riseholme Road, Lincoln | 19 - 82 |
| (b) 40 - 42 Michaelgate, Lincoln | 83 - 102 |
| (c) 40 - 42 Michaelgate, Lincoln (LBC) | 103 - 126 |

THE LOCAL GOVERNMENT (ACCESS TO INFORMATION) ACT 1985 (AS AMENDED)

LIST OF BACKGROUND PAPERS FOR PLANNING, LISTED BUILDING, CONSERVATION AREA AND ADVERTISEMENT APPLICATIONS ON THE AGENDA OF THE PLANNING COMMITTEE

The Background Papers for the Planning, Listed Building, Conservation Area and Advertisement Applications are:

1. The Planning Application File. This is a file with the same reference number as that shown on the Agenda for the Application. Information from the planning application file is available online at <https://development.lincoln.gov.uk/online-applications/>

The application files contain the following documents:

- a. the application forms;
 - b. plans of the proposed development;
 - c. site plans;
 - d. certificate relating to ownership of the site;
 - e. consultation letters and replies to and from statutory consultees and bodies;
 - f. letters and documents from interested parties;
 - g. memoranda of consultation and replies to and from Departments of the Council.
2. Any previous Planning Applications referred to in the Reports on the Agenda for the particular application or in the Planning Application specified above.
 3. Central Lincolnshire Local Plan – Adopted April 2017
 4. National Planning Policy Framework - March 2012
 5. Applications which have Background Papers additional to those specified in 1 to 5 above set out in the following table. These documents may be inspected at the Planning Reception, City Hall, Beaumont Fee, Lincoln.

APPLICATIONS WITH ADDITIONAL BACKGROUND PAPERS (See 5 above.)

Application No.: Additional Background Papers

CRITERIA FOR PLANNING COMMITTEE SITE VISITS (AGREED BY DC COMMITTEE ON 21 JUNE 2006 AND APPROVED BY FULL COUNCIL ON 15 AUGUST 2006)

Criteria:

- Applications which raise issues which are likely to require detailed first hand knowledge of the site and its surroundings to enable a well-informed decision to be taken **and** the presentational material at Committee would not provide the necessary detail or level of information.
- Major proposals which are contrary to Local Plan policies and proposals but which have significant potential benefit such as job creation or retention, environmental enhancement, removal of non-confirming uses, etc.
- Proposals which could significantly affect the city centre or a neighbourhood by reason of economic or environmental impact.
- Proposals which would significantly affect the volume or characteristics of road traffic in the area of a site.
- Significant proposals outside the urban area.
- Proposals which relate to new or novel forms of development.
- Developments which have been undertaken and which, if refused permission, would normally require enforcement action to remedy the breach of planning control.
- Development which could create significant hazards or pollution.

So that the targets for determining planning applications are not adversely affected by the carrying out of site visits by the Committee, the request for a site visit needs to be made as early as possible and site visits should be restricted to those matters where it appears essential.

A proforma is available for all Members. This will need to be completed to request a site visit and will require details of the application reference and the reason for the request for the site visit. It is intended that Members would use the proforma well in advance of the consideration of a planning application at Committee. It should also be used to request further or additional information to be presented to Committee to assist in considering the application.

Present: Councillor Naomi Tweddle (*in the Chair*),
Councillor Bob Bushell, Councillor Biff Bean, Councillor
Chris Burke, Councillor Liz Bushell, Councillor
Gary Hewson, Councillor Bill Mara, Councillor
Rebecca Longbottom, Councillor Mark Storer, Councillor
Edmund Strengiel and Councillor Calum Watt

Apologies for Absence: None.

40. Confirmation of Minutes - 6 October 2021

RESOLVED that the minutes of the meeting held on 6 October 2021 be confirmed.

41. Member Statements

In the interest of transparency:

- Councillor Bob Bushell requested it be noted that he had taken advice as Portfolio Holder for Remarkable Place in relation to Item No 6(a) of the agenda 'Play Area, Whittons Park, Yarborough Road, Lincoln'; although he had been involved in discussions on plans for redevelopment of Whitton's Play Park, he was in no way predetermined regarding the decision as to whether planning consent should be given to the scheme this evening; he would listen carefully to the discussions on the proposals tonight and reserved his right to speak if he so wished.
- Councillor Naomi Tweddle requested it be noted in relation to Item No 7 of the agenda 'Street Record, Lincoln Road, Lincoln', that she lived approximately five minutes' walk away from the location of the proposed monopole, however no decision was being made this evening, as the matter had been dealt with as a prior approval under delegated powers, and the report was presented tonight to be noted.

42. Declarations of Interest

No declarations of interest were received.

43. Update Sheet

An update sheet was tabled at the meeting, which included additional comments received in relation to Agenda Item Number 6(a)-Play Area, Whitton's Park, Yarborough Road, Lincoln

RESOLVED that the Update Sheet be received by Planning Committee.

44. Work to Trees in City Council Ownership

Dave Walker, Arboricultural Officer:

- a. advised the Committee of the reasons for proposed works to trees in the City Council's ownership and sought consent to progress the works identified, as detailed at Appendix A of his report
- b. highlighted that the list did not represent all the work undertaken to Council trees, it represented all the instances where a tree was either identified for removal, or where a tree enjoyed some element of protection under planning legislation, and thus formal consent was required
- c. explained that ward councillors had been notified of the proposed works.

Councillor Bob Bushell thanked the Arboricultural Officer for providing information within the schedule of works to trees on the chosen location for those trees to be replanted which assisted Members when it impacted on their Ward.

RESOLVED that the tree works set out in the schedules appended to the report be approved.

45. Confirmation of Tree Preservation Order No 164

The Assistant Director for Planning:

- a. advised members of the reasons why a temporary tree preservation order made by the Assistant Director for Planning under delegated powers should be confirmed at the following site:
 - Tree Preservation Order 164: 1no Betula Pendula (Silver Birch) tree in the front garden of 8 Hawthorn Road, Lincoln, LN2 4QX
- b. provided details of the individual tree to be covered by the order and the contribution it made to the area
- c. reported that the initial 6 months of protection would come to an end for the Tree Preservation Order on 21 December 2021
- d. confirmed that the reason for making a Tree Preservation Order on this site was at the request of the landowner to ensure the long-term protection of the tree in the future
- e. advised that the Arboricultural Officer had identified the tree to be suitable for protection under a Tree Preservation Order following a site visit; it had a high amenity value, and its removal would have an effect on the aesthetic appearance of the area
- f. advised that following 32-day period of consultation, no objections had been received to the order
- g. advised that confirmation of the tree preservation order here would ensure that the tree could not be removed or worked on without the express permission of the council which would be considered detrimental to visual amenity and as such the protection of the tree would contribute to one of the Council's priorities of enhancing our remarkable place.

Members discussed the content of the officer's report in further detail.

Councillor Longbottom reported that she had viewed the tree which was a very fine specimen. She asked how old it was and how long it was likely to live.

Dave Walker, Arboricultural Officer advised that the tree was approximately 55-60 years old. It would probably live between 60-90 years, although this species was capable of living up to 150 years in total. It had been grown in the open and with an unusual shape and no signs of decay was indeed an exceptional specimen.

Another similar tree had been identified in the same owners' garden, however, unfortunately it was showing signs of decay and was not suitable for the imposition of a TPO.

He added that the landowner was very passionate about ecological values. She wished to ensure the tree remained protected when she no longer lived there.

RESOLVED that Tree Preservation Order No 164 be confirmed without modification and that delegated authority be granted to the Assistant Director of Planning to carry out the requisite procedures for confirmation.

46. Applications for Development
47. Play Area, Whittons Park, Yarborough Road, Lincoln

The Assistant Director for Planning:

- a. advised that the application proposed the installation of new play equipment with associated surfacing and refurbishment to the existing play area at Whitton's Park
- b. identified Whitton's Park as a key play site situated on Long Leys Road in Carholme Ward; the site had seen significant investment in play equipment in 2007/08, however, this planning application would see play opportunities in the park greatly enhanced with the longevity of the equipment being a key design criteria
- c. advised that the application proposed the installation of 21 items as detailed within the officer's report
- d. provided details of the policies pertaining to the application, as follows:
 - Policy LP22: Green Wedges
 - Policy LP26: Design and Amenity
 - National Planning Policy Framework
- e. advised Planning Committee of the main issues to be considered as part of the application to assess the proposal with regards to:
 - National and Local Planning Policy
 - Effect on Visual Amenity
 - Effect on Residential Amenity
 - Effect on Green Wedge
 - Consultation Responses
- f. outlined the responses made to the consultation exercise

- g. referred to the Update Sheet tabled at the meeting which included additional comments received in response to the consultation exercise
- h. concluded that:
- The development did not result in a detrimental impact on the green wedge; in accordance with Policy LP22 'Green Wedge' of the Central Lincolnshire Local Plan.
 - The proposed development would offer significant improvements to a key community facility for local residents.
 - The development was considered to be appropriately located and designed as well as respecting the amenity of adjoining occupiers and the local area in accordance with Policy LP26 'Design and Amenity' of the Central Lincolnshire Local Plan and the National Planning Policy Framework.

The Committee considered the content of the report in further detail.

Members offered their full support to refurbishment plans for Whitton's Park. This was a great opportunity to provide a quality play experience. It would help reduce vandalism similar to the scheme at Staverton Crescent. It was somewhere to go for young people, using exciting challenging equipment, it was indeed a breath of fresh air.

RESOLVED that planning permission be granted subject to the following conditions.

Conditions

- Development to commence within 3 years
- Development to be in accordance with the plans

48. Telecommunication Station 75465, Moorland Avenue, Lincoln

The Planning Team Leader:

- a. advised that permission was sought for the erection of a 20m high mast incorporating six antennas with an associated meter cabinet on Moorland Avenue, Lincoln
- b. reported that the application proposed an upgrade to an existing telecommunication site, replacing an existing 15m high mast and associated equipment
- c. described the location of the site on the north side of Moorland Avenue, to the east of the junction with Tritton Road, which would sit in the grass verge to the south of the Crown and Arrows Public House being surrounded by an area of open space with a number of mature trees to the south of Moorland Avenue and two storey semi-detached properties beyond
- d. advised that the application was presented to Planning Committee for determination this evening at the request of Councillor Bob Bushell

- e. referred to the relevant site history in respect of the planning application as detailed within the officer's report
- f. provided details of the policies pertaining to the application, as follows:
 - Policy LP26 Design and Amenity
 - National Planning Policy Framework
- g. advised Planning Committee of the main issues to be considered as part of the application to assess the proposal with regards to:
 - Policy Context
 - Visual Amenity
 - Residential Amenity
 - Highway Matters
- h. outlined the responses made to the consultation exercise
- i. concluded that:
 - The proposed mast would have an unduly harmful impact on local character and the surrounding built environment by reason of its height, size, design, and position, which was exacerbated by the site's open and highly visible location.
 - It would appear as an obtrusive, prominent, dominant, and imposing addition within the street scene, contrary to Central Lincolnshire Local Plan Policy LP26 and paragraph 130 of the National Planning Policy Framework.

Planning Committee discussed the content of the report in further detail.

Members in general offered their support to the officer's recommendation. They doubted how essential it was to build the mast here when there were more appropriate locations for it not so far away.

Councillor Strengiel emphasised that he trusted the officer's professional judgement and would not vote against the proposals. However, he observed that the Highways Authority had raised no objections to the planning application. As with lampposts when they were installed, in time people didn't notice them as we tended not to look upwards on our travels. Coverage for mobile equipment in the city was generally good.

Councillor Watt also agreed that people didn't notice the monopoles after a while and asked whether other locations had been considered.

The Planning Team Leader responded as follows:

- The applicant had not given consideration to alternative locations for the monopole as it replaced an existing one at the same location.
- Officers were concerned about the openness of the current location.
- There were suitable areas in commercial settings not too far away which were a lot less prominent.

- The mobile operators tended to find it easier to negotiate with the Highways Authority than individual landowners regarding suitable locations for telecommunication masts.

RESOLVED that planning permission be refused.

49. Street Record, Lincoln Road, Lincoln

The Planning Team Leader:

- a. described the location of the proposed site on the north side of Lincoln Road, sat within the grass verge at the back edge of the footpath/cycleway from the road, characterised by two single storey commercial premises with open land surrounding to the north of the site with the Flavian Road Estate located approximately 85m beyond, and to the south a mixture of bungalows and two storey properties located a minimum of 35m from the site`
- b. advised that the application was submitted under Part 16 of Schedule 2 of the Town and Country Planning (General Permitted Development) (England) Order 2015 (GPDO) as amended by the Town and Country Planning (General Permitted Development) (England) (Amendment) (no.2) Order 2016
- c. reported that paragraph A.1 (1) (c) (ii) of the GDPO set out permitted development rights to install masts of up to 20m above ground level on land on a highway; as the proposed monopole would be 15m in height and the ground-based apparatus would not exceed 15m in height, the siting of the associated cabinets at the bottom of the monopole were therefore permitted development, however, prior approval was required for the monopole in terms of its siting and appearance
- d. advised that due to the fixed 56 days in which Local Authorities must inform mast operators of its' decision on whether prior approval was required for siting and appearance and to let the operator know of its decision, it had not been possible on this occasion for this prior approval to be presented at committee before determination
- e. highlighted that this report gave details for the assessment taken of the application to give consistency to 5G masts and the context of how they were considered on individual merits
- f. reported on the proposed siting of this monopole in a non-residential area
- g. stated that a declaration had been submitted with the application which confirmed that the equipment was in line with International Commission on Non-Ionizing Radiation Protection Public Exposure Guidelines (ICNIRP)
- h. provided details of the policy pertaining to the application, as follows:
 - National Planning Policy Framework
- i. advised Planning Committee in determining this prior approval application, that the Local Planning Authority could only consider the siting and appearance of the proposed telecommunications equipment

j. outlined the responses made to the consultation exercise

k. concluded that:

- It was considered that the siting and appearance of the proposed monopole would not have a harmful visual impact on the character and appearance of the area in accordance with the Central Lincolnshire Local Plan Policy LP26 and paragraph 130 of the National Planning Policy Framework.
- Therefore, the application was determined under delegated powers by the Assistant Director.

Planning Committee discussed the content of the report in further detail.

Members queried why a 15-metre-high mast could be built here, being more aesthetically amenable, however not appropriate for the previous planning application discussed this evening which had applied for a 20-metre-high monopole at Moorland Avenue.

The Planning Team Leader responded as follows:

- Both masts served exactly the same purpose.
- Prior approval could be sought for masts no higher than a maximum of 15 metres.
- The applicant must have a reason to request a higher pole at the Moorland Avenue location.
- There was a significant height difference between the two applications and the area for this mast also benefitted from being in a commercial setting.

RESOLVED that the content of the report be noted by Planning Committee.

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| SUBJECT: | WORK TO TREES IN CITY COUNCIL OWNERSHIP |
| DIRECTORATE: | COMMUNITIES AND ENVIRONMENT |
| REPORT AUTHOR: | STEVE BIRD – ASSISTANT DIRECTOR (COMMUNITIES & STREET SCENE) |

1. Purpose of Report

- 1.1 To advise Members of the reasons for proposed works to trees in City Council ownership, and to seek consent to progress the works identified.
- 1.2 This list does not represent all the work undertaken to Council trees. It is all the instances where a tree is either identified for removal, or where a tree enjoys some element of protection under planning legislation, and thus formal consent is required.

2. Background

- 2.1 In accordance with policy, Committee’s views are sought in respect of proposed works to trees in City Council ownership, see Appendix A.
- 2.2 The responsibility for the management of any given tree is determined by the ownership responsibilities of the land on which it stands. Trees within this schedule are therefore on land owned by the Council, with management responsibilities distributed according to the purpose of the land. However, it may also include trees that stand on land for which the council has management responsibilities under a formal agreement but is not the owner.

3. Tree Assessment

- 3.1 All cases are brought to this committee only after careful consideration and assessment by the Council’s Arboricultural Officer (together with independent advice where considered appropriate).
- 3.2 All relevant Ward Councillors are notified of the proposed works for their respective wards prior to the submission of this report.
- 3.3 Although the Council strives to replace any tree that has to be removed, in some instances it is not possible or desirable to replant a tree in either the exact location or of the same species. In these cases, a replacement of an appropriate species is scheduled to be planted in an alternative appropriate location. This is usually in the general locality where this is practical, but where this is not practical, an alternative location elsewhere in the city may be selected. Tree planting is normally scheduled for the winter months following the removal.

4. Consultation and Communication

- 4.1 All ward Councillors are informed of proposed works on this schedule, which are within their respective ward boundaries.
- 4.2 The relevant portfolio holders are advised in advance in all instances where, in the judgement of officers, the matters arising within the report are likely to be sensitive or contentious.

5. Strategic Priorities

5.1 Let's enhance our remarkable place

The Council acknowledges the importance of trees and tree planting to the environment. Replacement trees are routinely scheduled wherever a tree has to be removed, in-line with City Council policy.

6. Organisational Impacts

6.1 Finance (including whole life costs where applicable)

i) Finance

The costs of any tree works arising from this report will be borne by the existing budgets. There are no other financial implications, capital, or revenue, unless stated otherwise in the works schedule.

ii) Staffing N/A

iii) Property/Land/ Accommodation Implications N/A

iv) Procurement

All works arising from this report are undertaken by the City Council's grounds maintenance contractor. The Street Cleansing and Grounds Maintenance contract ends August 2026. The staff are all suitably trained, qualified, and experienced.

6.2 Legal Implications including Procurement Rules

All works arising from this report are undertaken by the Council's grounds maintenance contractor. The contractor was appointed after an extensive competitive tendering exercise. The contract for this work was let in April 2006.

The Council is compliant with all TPO and Conservation area legislative requirements.

6.3 Equality, Diversity and Human Rights

There are no negative implications.

7. Risk Implications

7.1 The work identified on the attached schedule represents the Arboricultural Officer's

advice to the Council relevant to the specific situation identified. This is a balance of assessment pertaining to the health of the tree, its environment, and any legal or health and safety concerns. In all instances the protection of the public is taken as paramount. Deviation from the recommendations for any particular situation may carry ramifications. These can be outlined by the Arboricultural Officer pertinent to any specific case.

7.2 Where appropriate, the recommended actions within the schedule have been subject to a formal risk assessment. Failure to act on the recommendations of the Arboricultural Officer could leave the City Council open to allegations that it has not acted responsibly in the discharge of its responsibilities.

8. Recommendation

8.1 That the works set out in the attached schedules be approved.

Is this a key decision? No

Do the exempt information categories apply? No

Does Rule 15 of the Scrutiny Procedure Rules (call-in and urgency) apply? No

How many appendices does the report contain? 1

List of Background Papers: None

Lead Officer: Mr S. Bird,
Assistant Director (Communities & Street Scene)
Telephone 873421

**NOTIFICATION OF INTENDED WORK TO TREES AND HEDGES
RELEVANT TO THEIR CITY COUNCIL OWNERSHIP STATUS.
SCHEDULE No 10 / SCHEDULE DATE: 03/12/2021**

| Item No | Status e.g. CAC | Specific Location | Tree Species and description/ reasons for work / Ward. | Recommendation |
|----------------|--------------------------------|--------------------------|---|--|
| 1 | N/A | 10 Lilac Close | <u>Birchwood Ward</u> 1 x Rowan <u>Fell</u> This tree has a significant cavity present at ground level with an associated decay column ascending into the trunk. | Approve works – replant with 1 x replacement Rowan, to be located in close proximity to the original planting. |
| 2 | N/A | Sorrel Court | <u>Birchwood Ward</u> 1 x Rowan <u>Fell</u> This tree is in heavy decline; most of the upper canopy has been lost due to die-back. | Approve works - replant with 1 x replacement Rowan, to be located in close proximity to the original planting. |
| 3 | N/A | 49 St Andrews garden | <u>Boultham ward</u> 1x Sycamore <u>Fell</u> Tree is leaning heavily over the roof of the property; due to the habit of the tree pruning would be an ineffective way of to abate the nuisance. | Approve works – replant with 1 x Field Maple, to be sited within the amenity grassland located at Rufford Green. |
| 4 | N/A | 12 Mons Road | <u>Castle Ward</u> 1 x purple plum <u>Fell</u> This tree has suffered a partial canopy failure | Approve works – replace with 1 x Red Horse chestnut, to be located within close proximity to the original |

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| | | | in the past; decay fungi are now present at the base of scaffold branches, placing the tree at a risk of unpredictable failure | planting. |
| 5 | N/A | 36 a Ruskin Avenue | <u>Glebe Ward</u> 1 x Plum <u>Fell</u> This tree has a significant lean and poses a risk of damage to closely situated garden structures. | Approve work - replace with 1 x Silver Birch, to be planted within the amenity grassland located at Ruskin Green. |
| 6 | N/A | 4 Westminster House – Welton Gardens | <u>Minster Ward</u> 1 x Thuja <u>Retrospective notice</u> This tree was located in close proximity to the rear wall of a void council property and risked causing structural damage to the building. | Replace with 1 x Laburnum, to be planted within the amenity grassland located to the front of the property. |
| 7 | N/A | 59 Turner Avenue | <u>Moorland Ward</u> 1 x Cherry <u>Fell</u> This tree has an asymmetrical canopy and is heavily suppressed by an adjacent Maple which will benefit from the cherry trees removal. | Approve works – Replace with 1 x English Oak, to be located within the amenity grassland area located between Turner Avenue and Cotman Road. |
| 8 | N/A | 80 Westwick Drive | <u>Moorland Ward</u> 4 x Leyland cypress <u>Fell</u> These trees are causing damage to the adjoining property boundary; they are also poorly balanced and provide poor amenity value | Approve works – replace with 4 x native species to be located within Boultham Park. |

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| 9 | N/A | 32 Holly Street | <p><u>Witham Ward</u> 1 x Ash 1 x Sycamore <u>Fell</u> These trees are self-set specimens which are located close to the adjoining property boundary</p> | <p>Approve works – Replace with 2 x native species, to be planted in Boultham Park.</p> |
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| Application Number: | 2021/0130/FUL |
| Site Address: | Land Adjacent to Yarborough Leisure Centre, Riseholme Road, Lincoln |
| Target Date: | 3rd December 2021 |
| Agent Name: | Globe Consultants Ltd |
| Applicant Name: | Mrs S Kane |
| Proposal: | Erection of five 3 and 4 storey buildings and twelve 2 and 3 storey town houses for student accommodation with vehicular access from Riseholme Road (Resubmission) |

Background - Site Location and Description

Site Description and Proposal

This application, on land in front of Yarborough Leisure Centre, proposes to build four 2/3 storey buildings fronting Riseholme Road to form townhouses with five 3/4 storey buildings positioned behind. The development would consist of 293 bedrooms of accommodation for students with ancillary on site reception, laundry facilities and warden accommodation. A new vehicular access will be formed to Riseholme Road and 17 parking spaces provided within the site for accessible unloading and staff parking only.

The land in question is allocated as a site for residential development in the adopted Local Plan. It is currently owned by the City of Lincoln Council with an agreement to sell to the applicants.

The site is currently grassland located on the west side of Riseholme Road with the Lincoln Castle Academy & Yarborough Leisure Centre situated to the north and west. To the south are residential dwellings fronting Riseholme Road and Yarborough Crescent. To the North is the old caretaker's bungalow which is also in private ownership. There is a strong line of trees which form the eastern boundary with Riseholme Road.

Site History

A previous application (2019/0943/FUL) was refused by Planning Committee on 26th February 2020 for the following reason:

“The application as proposed would be harmful to the character and local distinctiveness of the site and its surroundings by reason of the height and massing of the proposed buildings contrary to the provisions of Policy LP26 of the Central Lincolnshire Local Plan.”

The previous application included 295 bedspaces together with teaching facilities, support space, an on-site café and academic space.

Amended Scheme

Following the previous refusal, the University revised their brief and appointed a new design team. The submitted scheme has been reconsidered and redesigned by the newly appointed architect. The key changes can be summarised as:

- Amended layout which reduces the footprint of the buildings and increases the setback from Riseholme Road

- Reduced scale and mass of development
- Removal of teaching space from the proposal and provide student accommodation only, in the form of townhouses and cluster flats consisting of 293 bedspaces
- Reduction of parking spaces (given these were previously only to be used in connection with the teaching space)
- Retention of trees to the front of the site (albeit whilst allowing a new access to be formed and thinning where necessary)

Case Officer Site Visit

Undertaken on 17th November 2021.

Policies Referred to

- Policy LP1 A Presumption in Favour of Sustainable Development
- Policy LP2 The Spatial Strategy and Settlement Hierarchy
- Policy LP9 Health and Wellbeing
- Policy LP10 Meeting Accommodation Needs
- Policy LP12 Infrastructure to Support Growth
- Policy LP13 Accessibility and Transport
- Policy LP14 Managing Water Resources and Flood Risk
- Policy LP16 Development on Land affected by Contamination
- Policy LP26 Design and Amenity
- Policy LP29 Protecting Lincoln's Setting and Character
- Policy LP32 Lincoln's Universities and Colleges
- National Planning Policy Framework

Issues

The key issues for consideration are:

- Principle of Use
- Visual Amenity
- Impact on Residential amenity
- Traffic and Pedestrian Safety
- Drainage/SUDs
- Trees and Landscaping
- Archaeology
- Contaminated Land

Consultations

Consultations were carried out in accordance with the Statement of Community Involvement, adopted June 2006.

The applicant has also undertaken their own pre-application engagement via a leaflet drop to local residents encouraging comments on the revised scheme through an online portal/ email or in writing or a call to Globe Consultants.

Comments have been received as part of the consultation process. They can be viewed in full online at [comments](#) or at the end of this report. Concerns from neighbouring properties

include but are not limited to: traffic/parking impacts from the development, scale of the buildings, loss of green space, risk of flooding and increased noise and disturbance.

Statutory Consultation Responses

| Consultee | Comment |
|---|-------------------|
| Lincolnshire Police | Comments Received |
| Lincoln Civic Trust | Comments Received |
| Education Planning Manager, Lincolnshire County Council | Comments Received |
| NHS England | Comments Received |
| Upper Witham, Witham First District & Witham Third District | Comments Received |
| Highways & Planning | Comments Received |

Public Consultation Responses

| Name | Address |
|-----------------------|---|
| Miss Charlotte Heaton | 53 St Nicholas Street Lincoln Lincolnshire LN1 3EQ |
| Mr Charles Rawding | 2 Thonock Close Lincoln Lincolnshire LN1 3SW |
| Mr Andrew Nolan | The Old Cobblers 18 Rasen Lane Lincoln Lincolnshire LN1 3EY |
| Mr Nicholas Fox | 65 Manton Road Lincoln Lincolnshire LN2 2JL |

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| Mr Brett Still | 6 Riseholme Road Lincoln Lincolnshire LN1 3SL |
| Mrs Karen Johnston | 237 Laughton way north Lincoln LN2 2AW |
| Mrs Mavis Pearman | 11 Thonock Close Lincoln Lincolnshire LN1 3SW |
| Mr R And Mrs A E Carter | 19 Thonock Close Lincoln Lincolnshire LN1 3SW |
| Chris And Lesley Bowater | 113 Yarborough Crescent Lincoln Lincolnshire LN1 3NE |
| Mr And Mrs J Stewart | 15 Thonock Close Lincoln Lincolnshire LN1 3SW |
| Jeremy Wright | 69 Nettleham Road Lincoln Lincolnshire LN2 1RT |
| Tony Moir | |
| Mr Roy Bratty | 46 Somme Close Lincoln LN1 3WA |
| P Kempton | 126 Yarborough Crescent Lincoln Lincolnshire LN1 3LX |
| Mr And Mrs Langdale | 9 Thonock Close Lincoln Lincolnshire LN1 3SW |
| M J Riley | 19 Riseholme Road Lincoln Lincolnshire LN1 3SN |

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|-----------------------|--|
| Mr John Noone | 13 Riseholme Road Lincoln Lincolnshire LN1 3SN |
| Alan Williams | 130 Yarborough Crescent Lincoln Lincolnshire LN1 3LX |
| Mr Christopher Reid | 12 McInnes Street Lincoln LN2 5NP |
| Mr Mark Harris | 4 Riseholme Road Lincoln Lincolnshire LN1 3SL |
| Mr Dayton Smith | 8 Sedgebrook house Laughton way North Lincoln LN2 2AN |
| Mrs Kathryn Gill | 70 Riseholme Road Lincoln Lincolnshire LN1 3SP |
| Mrs Susan Nock | 39 Riseholme Road Lincoln LN1 3SN |
| Ms Caroline Steel | 128 Yarborough Crescent Lincoln LN1 3LX |
| David and Claire Cann | |
| Mr Vladimir Kubjatko | 50 St Nicholas Street Lincoln LN1 3EQ |
| Mr Jonah Luke Pain | 46 Riseholme Road Lincoln LN1 3SP |
| Mrs V Nadal | 126 Nettleham Road Lincoln Lincolnshire LN2 1RX |
| Ann Hipkin | |

| | |
|-------------------|--|
| Mr Peter Ricketts | 11 Bellflower Close Lincoln LN2 4UD |
| Miss Kelly Burns | 9 Riseholme Road Lincoln Lincolnshire LN1 3SN |

Consideration

National and Local Planning Policy

Principle of Use

Central Lincolnshire Local Plan (CLLP) Policy LP2 advises that the Lincoln Urban Area will be the principal focus for development in Central Lincolnshire, including housing. Policy LP1 and the National Planning Policy Framework (NPPF) also advise that housing applications should be considered in the context of the presumption in favour of sustainable development.

The site is a residential allocation in the adopted Central Lincolnshire Local Plan and has an indicative number of thirty nine dwellings attributed to the site. Officers are satisfied that the principle of the proposed use in this location is acceptable. The development will help the continued growth and associated economic benefits that BGU brings to the City which would also be in accordance with CLLP Policy LP32.

Developer Contributions

Due to the nature of the proposed use as student accommodation the development is not Community Infrastructure Levy (CIL) liable nor is there a requirement for S106 contributions relating to education, playing fields or play space.

A request from NHS England has been received advising that the development would put additional demands on the existing GP services for the area, and additional infrastructure would be required to meet the increased demands, with Lindum and Minster Medical Practice being the likely most impacted site. A commuted sum has therefore been requested to contribute to the development of additional clinical space in this setting. This request would be in accordance with CLLP Policies LP9 and LP12. The applicant has agreed to sign a S106 agreement securing the contribution and will be finalised should the Planning Committee be in support of the application.

Visual Amenity

The application site, as described above, is open land bounded by trees on the Riseholme Road frontage. The surrounding context is of two and some three storey dwellings on Riseholme Road with the larger scale of buildings at the Leisure Centre to the west along with the adjacent school buildings. Riseholme Road is a main approach road into the City.

The proposal is for four buildings containing 12 townhouses of two storey facing Riseholme Road with a third storey in the roof space. The two buildings to the south of the

access road would be behind the significant tree buffer between the site and Riseholme Road. Between the houses are a couple of smaller single storey structures (similar in scale to domestic garages). These are to be constructed with matching brick. The single storey main reception is also similar in scale. The dormers within the townhouses vary from house to house in order to break the rhythm and add interest to the elevations. With regard to materials, the townhouses are red brick with slate tiles with the dormers created in zinc or similar metal material.

Behind the townhouses towards the west of the site are three main blocks, one lower three storey building closest to the southern boundary and two 4 storey buildings linked with a 3-storey block to the north west which form clusters of rooms with shared kitchen facilities arranged in groups of 6-9. The 4 storey buildings present their end gables to the east and west which reduce the overall scale when viewed from outside of the site. These blocks have been designed with generous window openings with elegant frames set within deep reveals into brick work. They have a variety of perforated metal shades providing solar control allowing optimum daylight whilst allowing the windows to be opened safely for ventilation. The roofs of the blocks are flat but have tall parapets for safe maintenance and discreetly hide any low-level roof plant services or projections avoiding the need for exposed metal handrails. Lifts are central so that overruns do not project too high.

There are 14 accessible rooms distributed throughout the blocks and adjacent kitchens will be designed to provide accessible facilities. Additional Facilities: also include a reception desk (operated 24/7), management offices, laundry / cleaning storage space and laundry facilities and a meeting room.

The scale and massing of the previous proposal was the sole reason for refusal. The scale and massing of the development has been significantly reduced from the original proposals. The larger four storey elements of the proposal are positioned to the north-west of the site, furthest away from Riseholme Road and residential properties on Yarborough Crescent. The variation in scale and the breaking up of the buildings into smaller blocks gives interest to the longer views, particularly from the north; a set of buildings of the same height could be unduly repetitive. The careful modelling of these buildings and the stepping down to a more domestic scale adjacent to Riseholme Road means that the scale can be satisfactorily accommodated without the development feeling overbearing.

Furthermore, the revised layout of the buildings on the site has been carefully designed to ensure they provide external space, which is useable by the future residents, equally, a reduced amount of parking from the previous proposal has created a more attractive environment which is not dominated by an access road and parking spaces.

With regard to the materials the careful blend of traditional and more contemporary materials, alongside the modelling and variety introduced into the different buildings means that the development does not appear over dominant in the street, the relationship to the main campus is created but the development also successfully compliments the local area. It is considered that the revised proposals have brought significant positive changes in this regard and the proposal is appropriate in terms of making a positive contribution to local character and distinctiveness and responding to the established character of the area. In accordance with Policy LP26 of the Local Plan and paragraph 130 of the NPPF.

Energy Efficiency

The submitted Design and Access Statement details the low energy design principles that have been established in order to minimise energy demand of the proposed buildings, they include:

- Improved Building Envelope 'U' Values and Air Permeability
- Mechanical Ventilation via high efficiency heat recovery units with low energy fans
- Variable speed pumping where appropriate
- High efficiency heat generating plant
- High efficiency electrical panel heating with automated controls.
- Low energy (LED) lighting
- Natural Daylighting
- Smart Building Management System incorporating Zoning and Metering
- Incorporation of Air Source Heat Pump technology to support the domestic hot water demand of the student residential accommodation blocks increasing generation efficiency

Impact on Local Residents

The design and scale of the buildings have been carefully considered to minimise any physical impact on adjacent residents in terms of overlooking, loss of light or the creation of an overbearing development. The previous application was considered acceptable in terms of its impact on neighbouring properties and as the scale has been reduced, impact from the physical buildings of the current scheme is still considered appropriate.

With regard to the impact of the use, the site will be managed by BGU themselves. They have strict rules in relation to behaviour and indeed in relation to car use and parking which means that whilst students will be expected to not have a car, any who do will not be able to park it in local streets. Residents in Thonock Close have an understandable concern about this but it is matter that can be managed. The proximity of the accommodation to the main campus and the good public transport connections to the City Centre, which is in any event within easy walking distance, means that there is no reason for students to bring a car and BGU are clear that those who choose to do so and who seek to park it locally will be open to further action.

There will be an increase in students in and around the site and on Riseholme Road as a consequence of the development but there are no grounds for asserting that this would be harmful to the amenity of local residents. This is a busy part of the City due to the activity already generated by Castle Academy during the day and by Yarborough Leisure Centre on evenings and weekends and as a consequence any increase in activity generated by this site is unlikely to be unduly noticeable. Equally more people walking along Riseholme Road, a main approach road into the City, does not in itself constitute harm.

It is considered that the use proposed and the scale of development can be satisfactorily accommodated within the local area without undue harm to residential amenity in line with Policy LP26 of the Central Lincolnshire Local Plan.

Traffic and Pedestrian Safety

17 car parking spaces are provided, 14 allocated to the accessible units on a need's basis and 3 for staff parking. The access road is suitable for fire engine access, refuge vehicles

and maintenance vehicles. Four spaces will have electric charging points. Cycle parking is also available at the site.

The main access for pedestrians, and only access for vehicles, is via the main entrance off Riseholme Road. This entrance is controlled via the reception building which is manned 24 hours. There is space for vehicles up to the size of a large taxi to drop off next to reception and exit by reversing into a dedicated space behind, separated from the pedestrian route by a kerb and bollards.

The application has been the subject of consultation with the Highway Authority at the County Council and their comments are appended to this report. The Highway Authority consider the site to have good visibility and geometry for the intended use and within a site that is sustainably located with good access by foot, cycle, and bus routes. They consider the proposals to also include adequate cycle parking provision.

The proximity of the main campus to the south east means that there will be a level of pedestrian movement between this site and the campus across Riseholme Road/Yarborough Crescent and the Highway Authority is satisfied that this can happen safely. Each leg of the roundabout junction has within it a pedestrian island and, as adults, the students can be expected to negotiate crossing the road safely.

The advice from the Highway Authority also contains a request for this site to fund increased bus services to and from the City Centre, officers have discussed this request with the Highway Authority and advised that we do not consider such a request to be reasonable or proportionate. It does not therefore meet the tests set out in legislation in relation to off-site contributions from development.

The Highway Authority do not raise any objections to the application in respect of, highway safety or traffic capacity subject to recommended conditions regarding the submission of a construction management plan and implementation of the submitted travel plan.

Subject to the recommended conditions, officers consider the development would promote the use of sustainable modes of transport for users of the site and would not have a severe impact on the transport network in accordance with paragraph 111 of the NPPF and LP13 of the CLLP.

Drainage/SUDs

The applicants have submitted a drainage strategy that demonstrates that the positive drainage of the site as a result of the development will deal with any potential surface water. Further ground investigation work and design work has been undertaken since the previous application and the drainage proposals demonstrate that all surface water run-off can be discharged via infiltration to the ground without the requirement of an overflow to the mains sewer in Riseholme Road. The strategy has been designed to accommodate 1 in 100-year rainfall event plus 40% uplift for climate change allowance. The drainage strategy will ensure that there is no increased risk of flooding.

The strategy has been considered by the County Council as Highway Authority and Lead Local Flood Authority (LLFA) who have raised no objections to the proposed arrangements. The development would therefore satisfy the requirements within paragraph 167 of the NPPF and LP14 of the CLLP.

Trees and Landscaping

The applicant has provided a detailed assessment of the current and proposed landscaping throughout the site. This includes retention of the front tree buffer area to Riseholme Road which was previously proposed to be removed in its entirety. The existing trees within the buffer will be thinned to remove specimens that are in poor condition, dead, or too crowded. Beneath the trees it is proposed that woodland wildflowers will be planted into the existing grass. In the area to the north of the entrance new trees will be planted to extend the existing belt.

The trees on the site frontage are a notable feature locally and therefore members will recall their removal in their entirety proposed on the previous application was a contentious issue. Officers consider the revisions to maintain this buffer will have a positive impact on the wider area.

The tree planting and landscaping strategy for the wider site sets out detailed planting proposals. New planting includes, trees, planters, low level planting around buildings, wall shrubs and climbers as well as grassed areas. Overall, the proposals represent a net gain in trees, giving long term benefits to tree cover in this part of the City in accordance with Policy LP26 of the CLLP.

Archaeology

Riseholme Road follows the route of roman Ermine Street and so there is some potential for archaeology within the site. As with the previous application, it is proposed that a condition will be able to deal with any such matters during the course of construction.

Contaminated Land

A remediation scheme has been submitted with the application to address any potential contamination within the site. The City Council's Scientific Officer has considered the information and is satisfied that subject to conditions requiring implementation of the remediation scheme, any potential contamination has been successfully considered in line with Policy LP16 of the CLLP.

Conclusion

The previous refusal reason relating to height and massing of the buildings have been overcome by the revised application. The development would relate well to the site and surroundings, particularly in relation to siting, height, scale, massing, and design. The proposal allows BGU to continue to develop and ensures that there is little impact on their neighbours and the wider City.

Technical matters relating to highways, contamination, archaeology, and drainage are to the satisfaction of the relevant consultees and can be further controlled as necessary by conditions. The proposals would therefore be in accordance with the requirements of CLLP Policies and the NPPF.

Application Determined within Target Date

Yes – with extension of time.

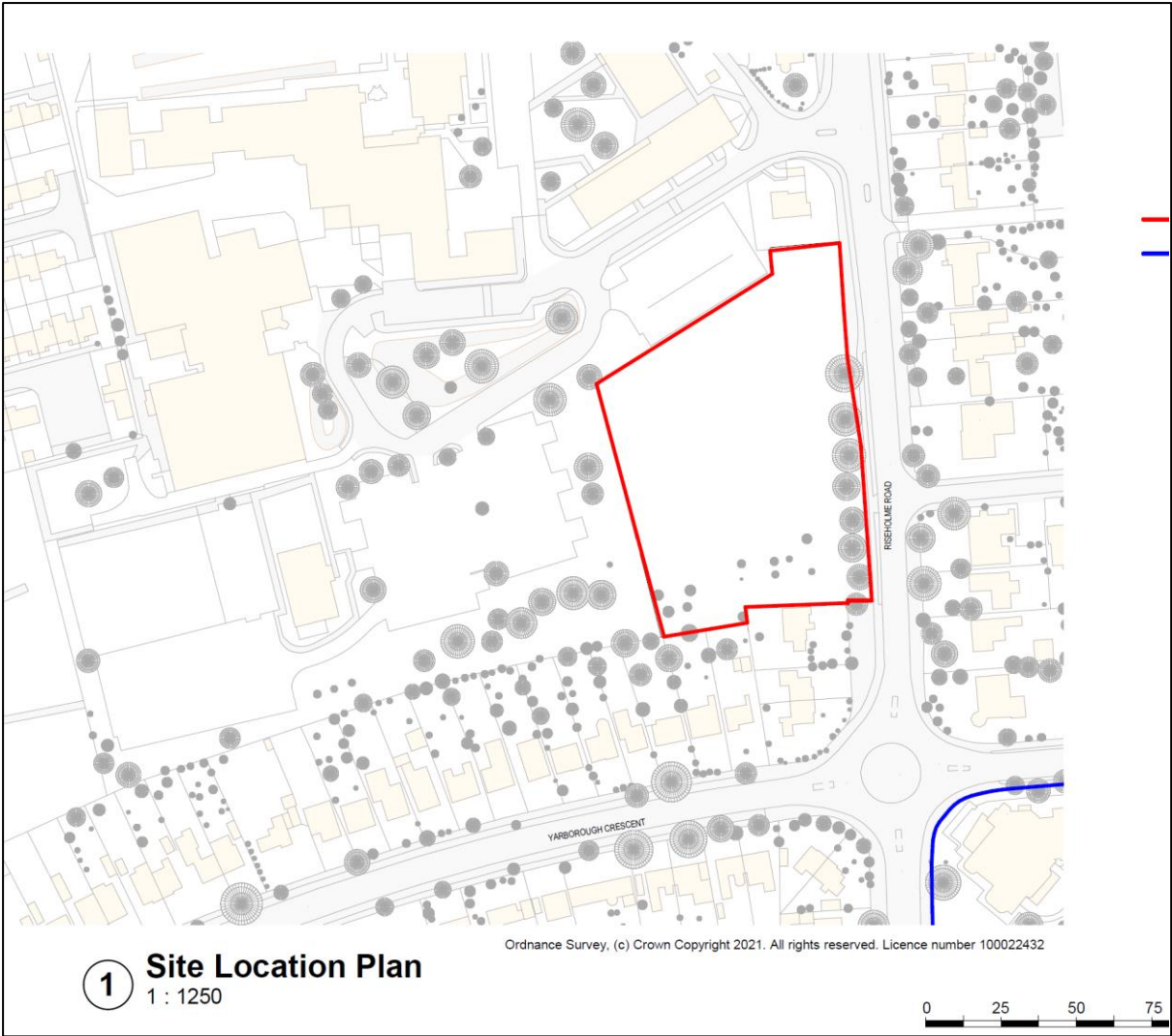
Recommendation

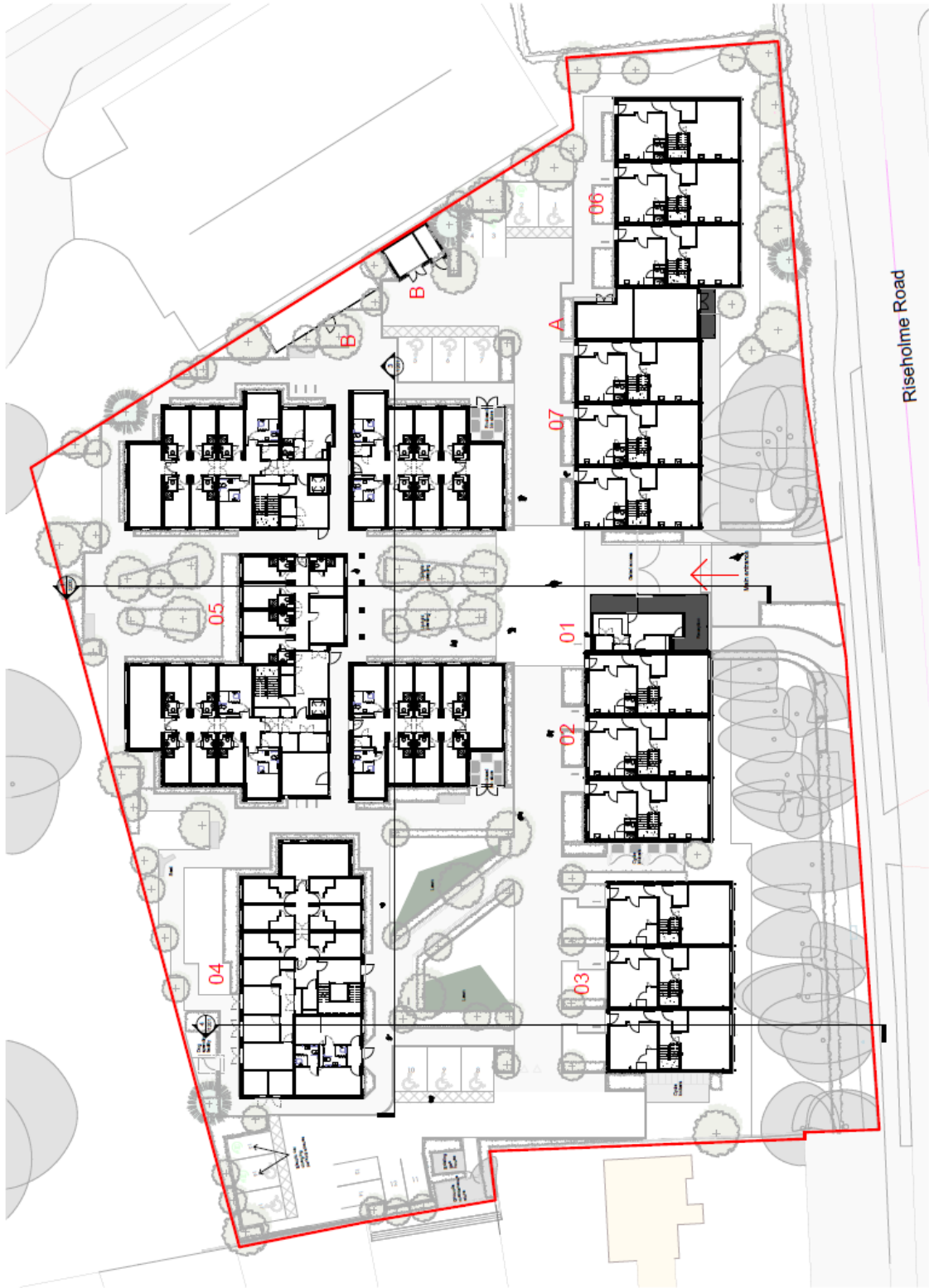
Delegate the application to grant upon signing of the S106 subject to the conditions set out below.

Conditions

1. Development to commence within three years
2. Hedge and tree protection to be in place at all times during construction
3. Materials
4. Highway conditions
5. Archaeology
6. Remediation shall be implemented in accordance with submitted remediation strategy
7. Submission of construction management plan
8. Retention of parking spaces at all times
9. Development to proceed in accordance with submitted Travel Plan
10. Landscaping to be implemented in accordance with the submitted landscaping plan

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① Ground Floor Plan
1:200

Site Layout



| | | | |
|---|----------------------------|-----|----------|
| B | Internal furniture removed | LJS | 10.02.21 |
| A | Cycle Lockers Added | LJS | 21.01.21 |

KEY

| | | | |
|--|---|--|--|
| | Pedestrian Route Compliant with Part M | | Staff Spaces 3 No for operation and maintenance team |
| | Accessible Spaces 10 No with additional width to allow for unloading | | Cycle Parking 16 No Sheffield stands providing space for 32 bicycles |
| | Accessible Spaces 4 No for students with disabilities not requiring unloading space | | Parking Space with Electric Charging Twin or single charging unit |

RISEHOLME ROAD FOR BGU

Access & Parking

DWG NO: 4220/P02 REV NO: B

Scale: 1:500 @ A3 Date: 10th February 2021 Status: Planning

LIVINGSTON EYRE ASSOCIATES
UNIT SEVEN 14 HORTON SQUARE LONDON N1 6HT
TEL: 020 7247 8811 WWW.LIVINGSTONREYNOLDS.CO.UK
LONDON OFFICE: 14 HORTON SQUARE LONDON N1 6HT

Access and Parking Arrangements

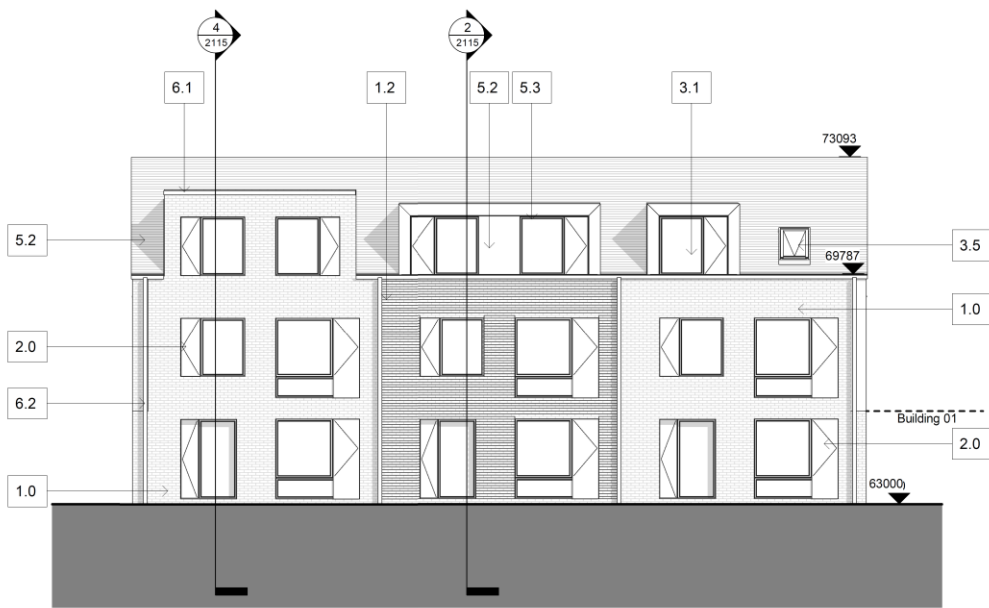


Landscaping Proposals

Elevations of townhouses fronting Riseholme Road



1 West Elevation
1 : 100



3 East Elevation
1 : 100

Floorplans of the townhouses fronting Riseholme Road



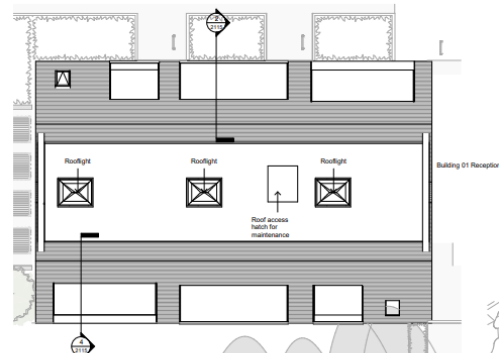
① Level 0 GA Plan
1 : 100



② Level 1 GA Plan
1 : 100



③ Level 2 GA Plan
1 : 100



④ Level 4 Roof Plan
1 : 100

Elevations of 3/4 storey buildings to the rear of the site



① North Elevation
1:100



② South Elevation
1:100



① East Elevation
1:100

Elevations of 3 storey buildings to the rear of the site



① East Elevation
1 : 100



② West Elevation
1 : 100



Street view elevation with trees and hedge retained

View from Riseholme Road

Section through the site



The buildings facing Riseholme Road are a similar scale to the residential properties opposite



Section through the main access road into the site showing the 2 and 3 storey residential properties facing Riseholme Road, looking north

Comparisons to previously refused application





Key view of approach to site with current and past and proposed schemes



Colour Visuals from inside the site



South facing garden court



View of apartment blocks 4, 5, and rear of townhouses from south



View from Riseholme Road



From within the site



From within the site



Riseholme Road



Housing development to the north of access to Castle Academy/ Yarborough Leisure Centre



Access into Castle Academy/ Yarborough Leisure Centre

Neighbour Comments

Miss Kelly Burns - 9 Riseholme Road Lincoln Lincolnshire LN1 3SN (Objects)

Comment submitted date: Mon 22 Mar 2021

I live at 9 Riseholme Road, Lincoln, England, LN1 3SN. Directly opposite. The traffic on this road is already dangerous and this would make getting out of my house worse and dangerous. Also the views from my house would be an eyesore. I live in an Edwardian villa in a historic part of Lincoln, do I really have to look at high rises, listen to students at all hours and have 500 cars pull out in front of my drive? This would certainly bring down the value of my house too. Can you not find somewhere to convert near the high street? There is so little green space as it is!

Mr Charles Rawding -2 Thonock Close, Lincoln, Lincolnshire, LN1 3SW

This development of residencies for 293 students will bring further problems for parking in Thonock Close, which is opposite to the proposed development. Although there is a stated BGU policy of not allowing students to bring cars if they are resident on campus, it is one which over the past few years does not seem to be policed very well. The Close is often very full with day students as well as some for a few weeks as they are in residence on the campus. As residents of number 2 Thonock Close we need easy access to our drive. This is often not possible when we have the University students mass parking. If you add just a few more cars from this new development then I fear it will become very very difficult for both the residents of the home and of Thonock Close. Emergency vehicles often have found it difficult to get access to the Close because of the double parking. If BGU can guarantee that no extra cars will be parked on the Close then maybe this will not have the detrimental impact I fear but as I stated at the beginning BGU's enforcement has been found wanting these past few years. (Some comments redacted due to sensitive nature)

David And Claire Cann (Objects)

Comment submitted date: Mon 22 Mar 2021

Having looked at the new plans for the proposed development, we still think that the scale and style of the proposed buildings still do not fit with the area. The publication that the developers distributed to residents suggested from the pictures that the scale would be 3 storey, however the development has a significant number of 4 storey buildings, which are very large buildings, considering that Riseholme Road is a residential road. Even the 3 storey buildings are out of scale for the road. I also do not think that the flat roofs of the 4 storey buildings fits in with the road. The amount of building, and the large number of students the space will accommodate also seems large for the relatively small space.

There has been a lot of building on Riseholme Road, and the loss of more green space would be a real shame. During the first lockdown the space was used by local

residents for exercise and recreation, highlighting that local residents benefit from this green space, and it would be great if it could remain. The retention of more trees is a positive improvement from the initial plans, but does not compensate for the total loss of the green space.

My final comment is about parking. Though residents will not be able to have cars, the university has admitted that it has no jurisdiction over visitors. During times when students are at university cars park all over the local area, including on Thonock Close, Newport and Yarborough Crescent. In particular cars park very close to the roundabout which can be dangerous. Over the last 12 months, since the Covid -19 pandemic there has been very few parked cars in the local area, which highlights that students and staff are likely to be responsible for these cars. Having so many more students living in the local area is likely to make this situation worse.

Thank you for consideration of our concerns as a resident of Riseholme Road.

**Mr Andrew Nolan The Old Cobblers 18 Rasen Lane
Lincoln Lincolnshire LN1 3EY (Objects)**

Comment submitted date: Wed 17 Mar 2021

Uphill Lincoln at the moment retains it's historic aspect with its mixture of attractive buildings, trees and open green spaces. The bottom of Lincoln has been devastated by massive concrete buildings obliterating views of the cathedral and castle. This should not be allowed to happen Uphill.

Attending meetings at the University I have heard that there have been up to 600 rooms vacant within the city boundaries. Is further accommodation really needed? Under the present climate with students reassessing their university options, I believe there is every chance that the flats could be built but remain unoccupied. Purpose-built student accommodation is already overwhelming Lincoln, and is often only required by first year students because of its cost.

**Alan Williams 130 Yarborough Crescent Lincoln
Lincolnshire LN1 3LX (Objects)**

Comment submitted date: Mon 15 Mar 2021

Dear Sir/Madam

I wish to register my Objection to the proposed building of the student accommodation on the land adjacent to Yarborough leisure centre. Sorry but the website isn't working.

I note this is a resubmission with a minor tweak of 17 parking spaces and access from the road.

My objections are that the planned buildings are totally out of character especially with the proposed heights of the structures.

Secondly there is the risk of further flooding as the roundabout at the Yarborough Crescent junction floods every time there is decent rainfall due to poor road construction, currently fixed with a council temporary flood sign!

My main concern is parking, 293 students and 17 parking spots (3 are for staff the remaining disabled access). Bishop Grott is already causing parking issues on Yarborough Crescent with students parking whilst attending day classes, they are blocking driveways, parking on the bus stop. Longdales Rd has cycle lanes either side as does Riseholme, Yarborough Crescent has no restrictions yet is the main access road from the A15 into the city centre, emergency vehicles and HGV's are regular users of the road. There is a cycle lane that drops from the pavement onto the bus stop on Yarborough, the parking is causing cyclists to have to emerge into the traffic that speed off the roundabout turning left off Newport. I have witnessed a disabled person in a motorised chair knocked over whilst trying to cross in the dark at this location. 293 students are not all going to cycle (I doubt if many at all will) I envisage them parking and causing restriction to Yarborough Crescent. Noise issue, Bishop Grott already causes noise pollution with the loud music, I can only see this increasing with over 200 students coming back from the City nightlife (look what happened in the West End)

Yours faithfully
Alan Williams
130 Yarborough Crescent

Mr Christopher Reid 12 McInnes Street Lincoln LN2 5NP (Objects)

Comment submitted date: Fri 12 Mar 2021

While I note that some improvements have been made to this application since the previous version in terms of height and the retention of more of the trees, I still have a number of concerns about the proposed development.

As before, I believe there remain issues around access onto the site, with the proposed access off Riseholme Road being, in my opinion, inappropriate given the proximity to the roundabout and Thonock Close, and that the access should have been off of the road into the Leisure Centre, which would negate those problems and not put further stresses on the road network. As previously stated, this would also improve pedestrian safety were access moved as it would bring pedestrians out by the crossing and would limit the number crossing closer to the busy roundabout.

I also have some concerns about the newly proposed make up of the development being of "town-houses" which, to me appears to be of large individual properties, similar in style to HMOs, something that, were it an existing property being converted, would cause a number of concerns around noise in particular, something which, in smaller bedroom clusters I do not think would be as much of an issue, but there are a number of 8 bedroom properties being proposed.

I acknowledge that the applicants hope that limiting parking spaces will discourage people from bringing cars and that steps will be taken against those students that do bring cars and park them nearby, however I do not believe that in reality this is feasible, unfortunately, there are those who will bring cars to university, and if there

is no parking facilities available will find somewhere else to park, quite possibly in residential streets such as Thonock Close, where there are already issues around parking, something that will only be made worse. The proposed mitigations, will not, in my opinion, be sufficient to stop them as they have also not been able to prevent the issue in the past. In my opinion, further car parking would be needed on the scheme to properly mitigate this issue.

Finally, I would also question what work has been done to assess the expected demand for this accommodation, given recent changes to learning during the pandemic and whether this is expected to remain consistent with historic levels. It is also suggested this development would allow those private lets to be used for general housing tenants, so I would be grateful if some assurance could be given that engagement has been done with these landlords to see if this is the case or if they would continue aiming to let to students.

Mrs Kathryn Gill 70 Riseholme Road Lincoln Lincolnshire LN1 3SP (Objects)

Comment submitted date: Fri 12 Mar 2021

021/0130 FUL

2832- Land fronting Riseholme Road, Lincoln

10th March 2021

I would like to register my objections regarding the proposed BGU Development, Riseholme Road, Lincoln.

The proposal for the University accommodation seems totally out of keeping with the residential dwellings surrounding them. The scale and height of the buildings is too much for the plot size and the four storey buildings are too high and will overlook all the nearby dwellings. 293 students staying in this small area is gross overcrowding and is this fair on the students or the local residents? The students will need to cross two already very busy roads to get to University and will be isolated from the rest of the campus.

The green spaces and wildlife opportunities are so small as to be insignificant and half of the mature trees will be culled which is a disappointment as the trees provide a significant eco structure. In recent years there has been a considerable loss of accessible greenspace in this part of the city and this green area is used by local residents.

Car parking in the area is already a problem, when the University is open every space along Newport has student cars parked. The documentation only allows for twenty car parking spaces, which is nowhere near enough even with a proposed ban on student cars. It seems highly unlikely that BGU would be able to prevent students and visitors from parking on nearby streets. There is already congestion around Riseholme Road roundabout and this development will add further to the problems. Why build a new student block at all at such an uncertain time, how many students will physically attend University in the near future? Will all of the huge student house developments in central Lincoln for the University of Lincoln be needed in the future? It would be unfortunate if the new buildings were built and not needed,

causing huge expensive and unnecessarily alienating the local community. Surely it is prudent to wait until the current crisis is passed before making a decision based on past information? I think any decision should be deferred for at least a year.

Regards
Ingrid Gill
Riseholme Road resident.

Mrs Susan Nock 39 Riseholme Road Lincoln LN1 3SN (Objects)

Comment submitted date: Thu 11 Mar 2021

I strongly object to this proposal.

I am disappointed but not surprised that the council has sold this last green open space on Riseholme Road, the fourth recently to be allocated for intensive development. This policy of intensively developing every scrap of open space in Lincoln is so short sighted.

I note that this development is likely to contravene the new regulations that have been agreed as part of the Government's response to the Climate Change Emergency which Lincoln City Council has signed up to.

In the local plan this site was identified as having the potential for 39 dwellings and this would respect the character of Riseholme Road which is largely residential 2 storey houses

The recently built 6 pairs of houses adjacent to this site on the north, were built after planning approval for 3 storeys was refused as it would be out of character for this area. How then can this development including 4 large blocks of 4 storey accommodation be considered appropriate?

Policy LP32, states that university 'developments will be supportedprovided that these are well integrated with and contribute positively to their surroundings'.

How can 4 storey blocks be considered as being well integrated with, and contributing positively to, a low rise residential area like Riseholme rd.

Clearly this proposal is contrary to this policy so once again; How can this development be considered appropriate.

This revised proposal still accommodates 290 students who will need to cross a very busy road which is the designated route for heavy vehicles accessing the ring road, and yet no pedestrian crossing or traffic control is included in the proposal.

The brochure circulated to local residents as part of the initial consultation does not mention the height of the constructions and the illustrations only show 2 and 3 storey buildings. Perhaps this is because they know that this was not what the Planning Committee meant when they instructed the Bishop Grosseteste University to think again about their proposal.

This development would be better suited to the sports field owned by the University

and I am sure that we will soon see a proposal for yet more accommodation on another green field.

My proposal would be to; Limit it to 3 storeys, keep the green landscaping, add a pedestrian crossing or traffic controls.

Mr Nicholas Fox_65 Manton Road Lincoln Lincolnshire LN2 2JL (Objects)

Comment submitted date: Wed 10 Mar 2021

The development would destroy an important public recreation space.

It would create extra congestion on Riseholme Road.

It would create much more pedestrian traffic at the Bishop Grosseteste roundabout which is already dangerous for people crossing.

Mrs Karen Johnston_237 Laughton way north Lincoln LN2 2AW (Objects)

Comment submitted date: Tue 09 Mar 2021

Type of development would be completely out of character for the area. Added to that, it is one of very few small green spaces left. We need to preserve this small green space and use brown field sites for building.

Mr John Noone_13 Riseholme Road Lincoln Lincolnshire LN1 3SN (Objects)

Comment submitted date: Mon 08 Mar 2021

The site of the proposed development (designated CL703 on the Central Lincolnshire Local Plan 2017) has been used as a much loved but 'un-specified' local green space for many years by local people and school children. As CL703 it was defined as a 1.16 hectare site with a potential for 39 dwellings. Although it would result in the loss of a rare public green space in the Riseholme Road area and as such would probably not be supported under the forthcoming new local plan, this type of development would be in accord with LP26 in that 2 storey residential dwellings would respect the existing character and identity of the area.

At an average occupancy of three, 39 dwellings would accommodate 117 people whilst BGU still proposes to house 293 on a fraction of CL703 (0.8 out of 1.16 hectares). This ambition can only be achieved by increasing the height and massing of buildings contrary to the original intent of the Local Plan and LP26.

Furthermore, amenity considerations, as laid out in the Local Plan are also key and

parts m.,n.,o. and p. are all compromised by the proposal as high density student accommodation is not compatible with neighbouring land use which is suburban housing. Properties on the Eastern side of Riseholme Road and those on the Northern side of Yarborough Crescent will be overlooked and, considering the height and massing of the re-proposed buildings, there will be inevitable overshadowing and loss of light to surrounding residents especially those on the Eastern Side of Riseholme Road where the dwellings, despite their own scale, are at a considerably lower elevation than those of the proposed development site and will lose a significant amount of afternoon/evening light as a result.

Support in principle for development by Lincoln's universities and colleges was given under LP32 2017 but only provided that "these are well integrated with and contribute positively to their surroundings". The original proposal by BGU was rightly rejected as being contrary to elements of LP26 because of the height and massing of the proposed buildings. The revised proposal also contributes nothing to its surroundings except increases in congestion, noise and a major loss of public amenity.

The consultation document circulated to local residents prior to submission of the revised application inferred 2 and 3 storey buildings this time (via the use of artists impressions) however the truth is 4 storey blocks that remain totally out of keeping with the residential dwellings surrounding them. BGU has a large playing field on campus, some of which it is understood to be considering for re-use as car parking or selling for private development. Surely better to use part of its existing estate for this development than to blot the local landscape with this patently out of place, ill-advised and most unpopular proposal?

Ms Caroline Steel 128 Yarborough Crescent Lincoln LN1 3LX (Objects)

Comment submitted date: Mon 08 Mar 2021

As with the previous application, I am not objecting to the principle of some development on the land in question, but the height and density of the proposed development appear to be out of keeping with the character of the surroundings. However, if the development is approved, the retention of the band of trees alongside Riseholme Road is welcomed. Riseholme Road is one of the 'gateways' to the city, with views to the cathedral. The new BGU building overlooking the roundabout has an interesting iconic design: the architectural merit (although not entirely clear from the documents) of the proposed buildings does not appear to be high.

There has been a significant loss of accessible greenspace in this part of the city in recent years. While this area could be considerably enhanced (for wildlife and for people), it does function as part of the city's green infrastructure. Other building off Riseholme Road and the large scale clearance of trees and shrubs associated with improvements to A15 junction with the by-pass have resulted in a net loss of biodiversity recently. While some environmental enhancements are proposed, a net

gain for biodiversity is unlikely. If approval is given, it should be conditional on a net gain in biodiversity (including a clear maintenance plan to prevent deterioration) and no net loss of accessible greenspace. Enhancements elsewhere on the BGU campus could be considered.

Car parking in the area is a problem and it is very hard to believe that BGU would be able to prevent students and their friends from parking on nearby streets. When BGU is operating 'normally' parking by students/staff/visitors often makes it dangerous to drive in and out of my property. If BGU could control the situation now I would have more faith in future success.

Miss Charlotte Heaton 53 St Nicholas Street Lincoln Lincolnshire LN1 3EQ (Objects)

Comment submitted date: Mon 08 Mar 2021

I object to the building of student accommodation on this land.

There is limited green space and I believe this land should remain as it is

Mrs V Nadal 126 Nettleham Road Lincoln Lincolnshire LN2 1RX (Objects)

Comment submitted date: Mon 08 Mar 2021

I am objecting on the grounds that this development will further reduce Lincoln City's green spaces and that it is not appropriate to build this right next to a secondary school. This beautiful green space with mature trees providing shade in the spring and summer months is used by families, dog walkers, children after school and exercise classes. It is absolutely essential that it is kept for the good of the community. It could be used to reduce t pollution in the area by planting more CO2 & NO reducing plant species

(<https://www.theguardian.com/environment/2021/feb/18/experts-identify-super-plant-that-absorbs-roadside-air-pollution>) therefore contributing to health and welfare of the community even further (including students at BG). Congestion at this part of Riseholme Road is particularly bad and often leads to traffic issues as the traffic trails back to the roundabout with Yarborough Crescent/Newport/Longdales Road. It is very clear that this entire development could easily take place on the existing campus at Bishops Grosseteste University, four times the size of this proposed site. All the infrastructure and access roads are in place and there is sufficient space for a free car park for potential residents.

Mr Vladimir Kubjatko 50 St Nicholas Street Lincoln LN1 3EQ (Objects)

Comment submitted date: Mon 08 Mar 2021

I definitely do not like idea of drunk students to invading even more this historical centre. There is enough trash to deal with the ones we have here already. More would be unbearable and I would be looking to moving out of area. Has anyone

thought that Yarborough school might want to use that space in near future for educating our own children...????

Mr Peter Ricketts 11 Bellflower Close Lincoln LN2 4UD (Objects)

Comment submitted date: Mon 08 Mar 2021

The building is in a sensitive location on the approach to the city and a busy thoroughfare. Four storey high developments such as this proposal are unacceptable. Three storey if sufficiently well designed, spaced and landscaped may be acceptable.

Mr Dayton Smith 8 Sedgebrook house Laughton way North Lincoln LN22AN (Objects)

Comment submitted date: Mon 08 Mar 2021

Trees are more important than a block of flats for a uni. Keep the trees no to the flats

Mr Roy Bratty 46 Somme Close Lincoln LN1 3WA (Objects)

Comment submitted date: Sun 07 Mar 2021

Absolutely no need for this to go on the green field next to the school. 4 story blocks will overlook the residential properties. It will put stress on the already busy roundabout.

P Kempton 126 Yarborough Crescent Lincoln Lincolnshire LN1 3LX (Objects)

Comment submitted date: Thu 04 Mar 2021

With regard to this application I must assume that as a re submission my concerns voiced on the original application are still on record.

On the face of it nothing appears to have changed. The configuration of the buildings has changed but the scale and height have not. We still have three and four storey buildings when all around are only two. The car parking space has been removed and replaced by "accommodation contracts" to prevent students bringing vehicles onto the site. That is fine, but those vehicles will be spread around this area like confetti. If they think this will work their naivety borders on ridiculous and the congestion caused by on road parking will be even worse.

The student capacity has been reduced from two hundred and ninety five down to two hundred and ninety three wow two less.

Trees will be destroyed to put in another access road when one already exists. The gated access may reduce traffic when completed but will be a nightmare with the continual flow of construction vehicles during the building process so close to the roundabout it is a road safety issue.

With regard to congestion caused by on road parking considering "the consultants" who are a local firm they appear to have no knowledge of the local area and attempt to "muddy the water" by blaming the street parking and congestion on;

The Leisure Centre - which has its own free car park

The school - which has its own free car park

The Co-op - which has its own free car park

The vets - which has its own free car park

All other amenities are over one kilometre away on Bailgate with car parking facilities and the residents, which in this location all have drives mostly capable of accommodating two/three cars.

The blame for this congestion falls directly onto the shoulders of the BGU they have a car park but of course "they charge to use it" and reading the terms and conditions and the "hoops" to be jumped through I am surprised it is used at all.

Complaints regarding irresponsible parking have always fallen on deaf ears and will continue to do so.

This entire development could easily take place on the existing campus, four times the size of this proposed site. All the infrastructure and access roads are in place and enough for a free car park to avoid congestion. For some reason they resist this and want to keep this in reserve as a "land bank" for when they have used up all other options and exploited all avenues.

**Mrs Mavis Pearman 11 Thonock Close Lincoln
Lincolnshire LN1 3SW (Objects)**

Comment submitted date: Wed 03 Mar 2021

My concerns relate to:-

the loss of yet another open green space in Lincoln, in addition to which the erection of tall buildings thereupon, would hinder access to light.

the inevitable further increase in traffic in the area and worsening queues at the nearby traffic island, with worsening difficulties for pedestrians (including school children and the elderly) trying to cross the road at that point.

Tony Moir (Objects)

Comment submitted date: Tue 02 Mar 2021

I would like to promote my objection to the above proposed application on several point listed.

1. We have recently moved into Thonock Close, and feel this development will devalue our property.
2. From our back garden and kitchen window we can view the tree screen currently in place and therefore a higher storey building will impose and be viewed from my property. The original application was lower storey buildings, why the sudden change? Any noise created from the accommodation will be heard in Thonock Close, and as we are night shift workers will affect our health and well being.
3. Parking will impact on Thonock Close, as providing significantly low limits of student parking onsite will encourage students to park at the nearest opportunity, Thonock Close. This will impact on the street, as well as impose on Emergency services attending the street.
4. The addition of a further entrance to the application will impact on entering and exiting from Thonock Close.

I hope the committee would consider the affect of the above on such a small cul de sac street, and once again reject the application.

Ann Hipkin (Objects)

Comment submitted date: Mon 01 Mar 2021

This Application from BGU varies very little from 2019/0943/FUL which was rejected last year and I would once again like to submit my objections to the current one.

There is no question that this build will impact greatly on the uphill area of this beautiful City and the LN1 postcode in particular. This is the prime postcode when buying and selling properties and, therefore, house prices will be affected if this application is granted the go ahead. It is a joke to imply the parking in the area will be unaffected as lockdown has proved, firstly, that many students can work from home and secondly, it has cleared Thonock Close, where I live, of the ongoing problem of student parking. The new plans cater for 293 students on site, with only 20 parking bays. This is an impossible ratio and one which will most definitely cause on-street parking nearby, which will be impossible to monitor. Complaints have been made over the years to BGU on this subject and they have been ignored, so why should that situation improve. It is an ongoing source of annoyance and danger when vehicles are parked so close together. The University should accommodate their students AND their vehicles, and if they cannot then maybe they are over-subscribed.

I am delighted to note that this new application intends to retain the trees fronting Riseholme Road when in the 2019 report they were deemed diseased . Is this to placate objectors to the new plan?

The detriment to the various services i.e. access road and water supply is a further cause for concern as both and more are already over-subscribed. Why does yet another beautiful green space in the City have to be utilised in this way. The fact that one third of the population of Lincoln is now taken up by students means we are swamped with them and I feel the Committee Members should have this in mind when determining this Application. Riseholme Road is already a very busy entrance/exit access for the City and more traffic will only make it a dangerous one.

I would ask the Committee to take on board these comments and once again reject the application.

Yours faithfully

Ann Hipkin

**Mr Brett Still 6 Riseholme Road Lincoln Lincolnshire LN1
3SL (Objects)**

Comment submitted date: Sun 28 Feb 2021

We are strongly opposed to the application on the basis of the following issues deemed permissible in the planning letter: scale and height, overlooking our property, highway safety and congestion and noise and disturbance. In addition, our established right of way access to the land has been blocked and we wish to object.

For scale and height, building 3, which sits closest to our property boundary, has three storeys. In the original plans a smaller scale office and teaching space was proposed next to our fence line. This new building proposal is of much greater scale and marked as student accommodation. I am concerned it is not in keeping with the comments from the previous council meeting regarding the number of storeys permissible. Having a three-storey building immediately next to an existing residential property would be overshadowing. From our north facing windows all we will see is a towering wall. As well, the overall site plan now has substantially more buildings compared to the original plans increasing the density of buildings on the site.

For overlooking our property, building 4 at the west side of the site has east facing windows which will look directly into our yard reducing privacy for our family. Also, there is a bedroom window on the south wall of building 3 which looks directly at our bedroom window.

For highway safety and congestion, we are concerned by the extra pedestrian traffic on the roundabout adjacent. In the original plans provisions for pedestrians to cross

was reviewed and a decision was made that no changes were necessary. We still object to this and believe a better crossing system is needed. Road traffic has been on the increase every year and with the addition of students using the roundabout to access the campus this will create additional congestion especially at peak times.

For noise and disturbance, we are strongly opposed to the building closest to our boundary being student accommodation. Again, relating to the original plans, an office and teaching space was proposed. This would suite our needs better as the building would mainly be occupied office hours and presumably vacant in the evenings (a reasonable compromise). However, now that student accommodation has been proposed for 24 students closest to our fence line noise and disturbance will increase. There are three communal lounge areas on the ground floor which will most likely be used well into the evenings and late at night. On the rare occasional that there have been people on the field late at night, the noise flows through to our property especially into the back bedrooms. With communal areas so close to my property this will create serious noise disturbance. We are also concerned with the large lawn area close to our property which will most likely encourage students to gather and linger late into the evening again creating more noise and disturbance.

As a further point we would like to raise the issue of our established right of way being blocked. On the plans a grounds maintenance store will sit immediately behind our back gate blocking our access. We have spoken to someone from the consultancy company, and they have advised that the council was aware of the gate access but that the issue had been resolved. It has not. We have not been contacted by anyone from the council nor have we been invited to join any consultation talks regarding such matter. If this matter was resolved without our knowledge, then we must object. We use the gate on a regular basis to access the land and it has been there for over 20 years providing an established right of access. We are disappointed that we were not consulted on this matter.

Mr Jonah Luke Pain 46 Riseholme Road Lincoln LN1 3SP (Supports)

Comment submitted date: Thu 25 Feb 2021

I'm quite happy with the alterations made to the application and am confident the designs are adequate for both the area and the new student residents.

My only concern not addressed in the application but not detrimental to my stance is the parking planning.

As long as BGU is confident they would support local residents in prohibiting incoming students/moving day parents from parking on adjacent property car parks (eg. the one covering 46-66 Riseholme Road), then I'm quite happy with everything and look forward to seeing the new designs in action.

Mr Mark Harris 4 Riseholme Road Lincoln Lincolnshire
LN1 3SL (Objects)

Comment submitted date: Wed 24 Feb 2021

I am very concerned about the new development effecting the light in my property and garden.

1

CITY OF
06 MAR 2021
LINCOLN COUNCIL

15 THROCK CROSE
LINCOLN.
LN1 3SW

Mr Walters,

In response to your letter dated 19 Feb regarding the proposed development on Land Adjacent to Gressingham Leisure Centre Riseholme Rd Lincoln we wish to register our objection to this proposal on many of the issues

Traffic noise, especially increase in student parking in recent times causing disturbance will now be greatly increased by air pollution from building contractor vehicles plus utility vehicles & the noise student parking.

The danger to pedestrian crossing the road to the college will inhibit our ability to pass in and out of our close doesn't back well on the main road with the increased traffic

2

Furthermore we understand several residents in and around our close have put their properties up for sale which speaks for itself

We have lived here in Throck Crose since 1997 at which time it was a very peaceful area to be in as we approached our retirement

We appreciate and acknowledge times are changing but do not expect to be affected with the prospect of being overrun by the student revolution now cropping up in all areas

This proposal should once again be rejected out of hand and consigned to the bin.

Sincerely
28/03/21 [REDACTED]

WE VALUE OUR CLOSE AND OUR AREA.



19 Thunock Close
Lincoln LN1 3SW

Simon Walters MBA .ACIS . MCMi
Directorate of Communities & Environment
City Hall
Beaumont Fee
Lincoln
LN1 1DF

REF 2021 /0130/FUL
2832 - Land fronting Riseholme Road

27 th Feb 2021

Dear Mr Walters

Re Proposed Planning Permission Land adjacent to Yarborough
Leisure Centre

The re application as presented by Bishop Grosseteste's architect's
is a purely a cosmeticized version of the original application .

It fails to address the main issues which indeed in many cases are
by their very nature , being unresolvable.

To name but a few :

Parking issues during construction and very much so after
completion

Traffic impact during construction and very much so after
completion

Surface Water and Grey water management

The presented plans wholly fail to blend with the existing
architectural and landscape and vista .



Introduction of additional pressures to already over loaded local services e.g doctors , dentists , hospitals , and all local service related utilities .

Student accommodation identifies with anti social behaviour , in terms of nocturnal activity , increased levels of noise disturbance , etc which given the LNI areas propensity for mid age to a existing retirement population bias is in appropriate .

Parking being one of the largest considerations as Bishop Grosseteste' s assertion of managing traffic and parking is an absurd ill thought resolution . B . G. have on authority to manage cars parked on the highway or indeed to checked number plates to find who owns said vehicles , never the less confront owners to remove vehicles .

During the Covid Lock Down there have been no parking issues in local residential streets notably in Thonock Close . The absence of students and lecturers at B.G. have meant there are no students and lecturers using Thonock Close as convenient free parking seven days a week. Once the University re opens we will presumably go back to being faced with the same parking issues , and if the development is allowed to proceed , even more parking pressures will prevail . Impacting access to residents properties and problems for utility and emergency service vehicles to attend as necessary.

Indeed Thonock Close strongly presents a case for full yellow linage to be introduced to protect residents and ensure safety in regard of maintaining basic access rights to their properties and also for the needs of utility vehicles and emergency vehicles to access and service said properties .

Local residents in and around Thonock Close , and Riseholme Road are becoming so un happy with B.G. 's arrogant attitude and lack of empathy with local residents well being that they are selling their properties and moving away , several have already sold and gone others have their properties on the market for this very reason. It is definitely not



something for B.G. to be proud of despite alluding that their initiative is to be caring neighbours within the local neighbourhood.

Given Road safety concerns , utility services concerns , parking issues , lack of architectural empathy , and indeed considering the very big question does the Historic LNI area need further high density modern themed development to be imposed and become burdensome . I believe the Planning department have a very large responsibility to make a informed and very careful considered decision with regard to this application , given the strength of feeling within the local area .

In closing the amount of concerns from local people and for that matter professional bodies with an interest in the application , balanced against the letters of support , indeed if any , will identify with the strength of feeling , and lack of support for what will become in time an unnecessary as students begin to access remote studies and realise the non necessity to attend the University Campus .

Yours sincerely

Mr R . & Mrs A . E. Carter

9 Thonock Close
Lincoln
LN1 3SW

Mr K Manning
Assistant Director – Planning
City Hall
Beaumont Fee
Lincoln
LN1 1DF

8th March 2021

Your Ref: 2021/0130/FUL

Dear Mr Manning

We wish to object to BGU's new plans for student accommodation on Riseholme Road.

Although the town houses seem to be an improvement on the previous plans, we feel three storeys is too high for buildings fronting onto Riseholme Road and four storeys is too high for the blocks.

This is a prime residential area of uphill Lincoln and has been turned into student land. We have lived in this area for over 50 years and have watched BGU take over, without any thought for local residents.

We are still concerned about the lack of on-site parking. There will be some students, who even though they signed an agreement, will think they can get away with parking in Thonock Close. Some will think the rules don't apply to them and will consider the close to be their own personal car park. How do BGU propose to monitor this? Are we to rush out of our houses and follow drivers up the close to see if they cross Riseholme Road to go the new blocks or if they go towards BGU?

The difference in the close has been very noticeable during the last year, as it is during BGU holidays. There are occasions when cars are parked on both paths and residents have to walk on the road. This is dangerous and unsafe. Parking restrictions are needed if only to cover university hours. If nothing is done, this problem will only get worse.

There is also the loss of green space to consider as there are no public parks and very few open spaces in uphill Lincoln. We also have concerns about noise and loud music from student gatherings.

We are pleased the trees and hedges will be left in place and more added.

We urge the committee to reject this application until all the issues have been resolved.

Yours sincerely



Mr D Langdale



Mrs M Langdale

Chris & Lesley BOWATER

115 Yarborough Crescent
Lincoln
LN1 5NE

11 March 2021

Mr K Manning
Assistant Director -Planning
Local Planning Authority
City Hall
Beaumont Fee
Lincoln
LN1 1DF

The proposed development:
Land adjacent to Yarborough Leisure Centre, Riseholme Road, Lincoln

Dear Sir

In respect to the above mentioned proposal, our objections in reality do not differ from those stated in previous planning applications.

As a resident on Yarborough Crescent for more than forty years, and previously a staff member at what was Yarborough High School and having close working relationship with the Bishop Grosseteste College, now University, we are well positioned to have a considered view.

We have seen the growth of passing traffic on Riseholme and on the Crescent since the rerouting due to the building of the by-Pass. Heavy haulage traffic has added to the existing bus route, the increase of private motor vehicles, as well as traffic to and from the school and the Leisure Centre. Serious concern is to be made for students attending the school crossing the road coming from Ermine, Longdales Road and area. There'll be inevitably an increase of traffic to and from the proposed buildings.

It is suggested that students won't be permitted to park private vehicles on the site thus kicking the 'parking can' literally down the road, to nearby roads such as ours, Thonock Close, and others. This is already a cause of dispute under present arrangements.

We have lived, not overlooked, for the duration of our time being on Yarborough Crescent. We suspect that the building proposals will adversely affect our property values, a selling point being the fact that we are not 'immediately' overlooked. The proposed heights of buildings are not that clear on the plans. The objective has been to give an artists impression from the viewpoint of Riseholme Road. 'The look' from Yarborough Crescent seems not to have been considered.

We believe that the increase of student accommodation in the City is disproportionate to the current and future requirements. There will be huge sociological and financial changes on the horizon, due in large to COVID, affecting the take up for University places. This is a well documented perspective.

Trees were planted along the fence line of our properties presumably for ecological and/or screening purposes. What will happen to them?

This proposal still doesn't satisfy our concerns and therefore doesn't meet with our approval

Yours sincerely,

Rev Canon Chris and Lesley BOWATER

M.J. Riley
19, Riseholme Road
Lincoln
LN1 3SN

13/03/21

Mr K Manning (Planning Manager)
City Hall
Beaumont Fee
Lincoln
LN1 1DF

Dear Mr Manning,

OBJECTION: 2021/0130/FUL | Erection of five 3 and 4 storey buildings and twelve 2 and 3 storey town houses for student accommodation with vehicular access from Riseholme Road (Resubmission) | Land Adjacent to Yarborough Leisure Centre Riseholme Road Lincoln

Firstly, I would like to make it clear that I would have liked the site to stay as it is, for the continued benefit and enjoyment of the local community. Sadly, Rik Metcalf and other councillors are so greedy and short-sighted they stealthily agreed the sale of the land without full and reasonable consultation with residents, they'll be no green space left at all soon! So much for the council's climate declaration. Rant over ☹️.

Being a recognised primary "Gateway to the City" this proposed development will have a negative visual impact. This extract is taken from the Central Lincolnshire Local Plan 2012/2036 Section 2 Central Lincolnshire Context in Relation to Policy LP29.

2.1 Lincoln Cathedral is one of the most important medieval buildings in Europe and its prominent, visually dominating position, towering over the City is an important symbol for the area. There are also important views into and out of the City, principally to and from the Lincoln Ridge, all fundamental to the City's setting and character. This character has evolved in part from the alignment of roman roads, location and nature of common land and physical restrictions of flood risk and ground conditions. Potential impacts can include views being blocked by development, poor design and insensitive positioning.

This new application is still totally out of character with the area, basically BGU are applying to build a self-catering hotel complex in the midst of residential housing, there is no vehicle parking provision planned at all and BGU's claim that students will not bring cars is ridiculous.

Another point to consider is BGU are very likely, at a later date to use these facilities as a hotel in the summer months as they already do with their existing on-campus facilities. With this in mind I feel the application has to be considered as a purely commercial development and not residential and vehicle parking has to be re-considered in the light of this.

The new design is still over-bearing and out-of-scale, character, and appearance when compared to the existing residential properties in the vicinity and does not comply with Policy LP26.

The development will also have an adverse effect on the residential amenity of neighbours by reason of noise, disturbance, overlooking, loss of privacy, and overshadowing. It will totally change the character of the neighbourhood.

Traffic on Riseholme Road gets extremely busy at rush hours and any increased volume of traffic would be detrimental to the area. Also, the pedestrian crossing points at the adjacent roundabout, particularly the Longdales Road crossing point are not good.

49% of the established trees will be lost (31 removed from the existing 63) and this has not been effectively mitigated in the plans.

The existing well used footpath across the site which has been established for over 40 years will be lost.

BGU are still trying to cram too much onto this site. The northern most block (building 6) is only 4.3 meters from the eastern site boundary (next to Riseholme Road) and 4.6 meters from the northern site boundary. The building is beyond the existing building line. Although, all looks good on the artist impressions this is not enough space for any landscaping to screen the building from the main road. Probably just enough space for a few shrubs?

The Planning Noise Assessment commissioned by BGU shows concerns for internal noise levels in all rooms facing Riseholme Road (to be mitigated by special glazing.) The assessment tests were conducted on 7th and 8th of December 2020 when Lincoln was in tier 3 lockdown. Traffic volumes would be significantly higher under normal conditions and I wonder if this needs to be looked at again. I urge you to read the conclusions of the noise report and draw also your attention to items 6.3.7, 7.1.4 and 8.3 with additional consideration to the time the tests were conducted. My own house is approximately 16 meters from the road and I certainly experience road noise, but no noticeable air pollution. Obviously, eastern facing rooms in this new development, particularly in building 6 are going to experience both.

Not wishing to be cynical, but the timing of the noise assessment test is reminiscent of the original site usage survey carried out in mid-winter which unsurprisingly showed little usage.

Summing up, to be fair, would any of you sitting on this committee want 300 students moving in next door to you? when BGU have ample space on their existing campus to fulfill their requirements for additional accommodation. A solution which would in fact be much safer and better for the students themselves.

I strongly urge the committee to refuse the planning application for the above reasons. Given the councils recent admirable decision to declare a climate emergency we should be protecting the few green spaces we have left.

Yours sincerely,



M.J. Riley

Our ref: jw1122 corrected

69 Nettleham Road
Lincoln
LN2 1RT

14 March 2021

Attn: Mr Kieron Manning, Planning Manager
City of Lincoln Council
City Hall, Beaumont Fee
Lincoln
LN1 1DF

Dear Mr Manning

OBJECTION: Planning Application: 2021/0130/FUL: BGU Student Accommodation on Riseholme Road, Lincoln

Although Bishop Grosseteste University [BGU] is a much valued institution in Lincoln, and the current application has improved from the completely unacceptable first application, it still has major adverse issues. **I therefore strongly object to this Planning Application for the following reasons:**

Loss of Green Space for Recreation and Health

This site is a much used and valued local green space. In Lincoln generally, every available piece of land is being developed, and the City is being impoverished of open space. Riseholme Road has recently lost four similar green spaces to development, including some on land owned by Lincoln City Council, like this site. If it is developed, the nearest open green spaces such as the West Common and Arboretum will be over one mile away.

Lincoln City Council has a responsibility to provide local green space for residents. Although this site has been designated for residential development, the City does not have to sell it for development.

It could work in partnership with BGU to provide the better solution recommended below.

Inappropriate Development on Riseholme Road

It is extremely inappropriate to locate such a dense development for 293 students in this quiet residential area. **By far the most suitable location for this development would be on BGU's own campus.**

Height, Massing, and Layout

The previous application was refused because it would be harmful to the character and local distinctiveness of the site and its surroundings by reason of the height and massing of the buildings, contrary to Policy LP26. This current application is still out of character in this residential area. In particular, the 4 storey blocks are higher than anything nearby. They will appear particularly intrusive when driving south towards the Cathedral along Riseholme Road. The blocks next to the southern boundary are close to existing housing and will also appear very intrusive.

Access, Traffic, and Walking Routes.

Riseholme Road is daily congested with slow moving queues of traffic. Each ad-hoc development constructs its own access road onto Riseholme Road, and drivers can find it virtually impossible to pull out into the main queue.

This development is typical in proposing yet another separate access. It seems obvious that this development should combine its access with that of the adjacent Sports Centre and Castle Academy, and provide a traffic light controlled junction with Riseholme Road.

The consultants highlight the short walking route to the main campus, but ignore the difficulties and danger of 293 students crossing two busy main roads in groups at peak times to get there, particularly Riseholme Road and Longdales Road. It is essential that controlled pedestrian crossings are installed on these two roads, and also on Yarborough Crescent and Newport.

Site Parking

Site parking is restricted to 14 student spaces. This is a massive under provision. There appears to be no consideration of problems at beginning and end of term, when the belongings of 293 students have to be delivered or collected. At minimum, each bedroom should be allocated a small separate store where students' belongings could be kept when their rooms have to be totally vacated during vacation.

Sustainability and Lack of Solar Panels on Rear Roofs

The application and Energy Statement emphasises the 'Green' credentials of the development. It is therefore surprising that solar photovoltaic panels are not specified for rear facing west and south roofs, where visual intrusion would be minimal.

Removal of 31 Trees

I support the concerns of your Arboricultural Officer regarding removing trees from within a tightly grown group of trees. Over the years, trees achieve a mutual cohesive balance, and thinning out some trees that might be considered sub-standard could expose the remainder to high risk of instability and storm damage. It would be far better to allow trees to remain, even if they are category C trees.

Also, many of these trees need to be felled to form the separate entrance. If the entrance had been combined with the existing one from the Sports Centre, this tree loss could have been avoided

For all the above reasons, I urge the Planning Committee to refuse this planning application.

An Alternative Proposal

BGU has a sports field on campus four times larger than this application site. BGU have already recorded that it was considering selling some of this land for development, and using some for additional car parking, provided that Sports England lifted its constraints against building on sports facilities. However, Sports England could agree to development if BGU provided equivalent sports facilities elsewhere.

It would be a far better option if BGU decided to build this student accommodation on campus.

This land could be released from Sports England constraints if BGU bought the Riseholme Road application site solely for sports. This would keep it open and green, and next to Yarborough Leisure Centre, with whom BGU has already explored potential sports developments and a partnership. As there are some concerns regarding the future of the Leisure Centre, closer collaboration and support from BGU is desirable. It seems a perfect fit.

The accommodation for 293 first year students could then be built more conveniently on campus, and where it also would not be an intrusive or contentious development.

I therefore urge the Planning Committee to encourage Bishop Grosseteste University to

- **build this student accommodation on part of the sports field on campus**
- **acquire and provide an equivalent sports area adjacent to Yarborough Leisure Centre**
- **develop a supporting partnership with Yarborough Leisure Centre**

Yours faithfully

Jeremy Wright
B Sc, MICE, Chartered Engineer.

Consultees Comments

Lincolnshire Police

Comment Date: Tue 23 Feb 2021

No objections.

Lincoln Civic Trust

Comment Date: Tue 16 Mar 2021

OBJECTION

We accept that this is a far better plan than the previous application but we still have many concerns.

Our concerns are:

' Considering the application is to build on what is currently a green space, there has been little done to provide for a reasonable amount of green environment. The reason for this, is the requirement to house 290 plus students, which given the City of Lincoln Council's predictions quoted in the latest strategy report that by 2026 the demand for student accommodation will have 'greatly reduced', we feel the provision to be excessive and unnecessary. It is also predicted after the pandemic, many students will carry out more of their courses 'virtually' from home, only visiting Universities for tutorials and examinations.

' If the application were to accommodate a lesser number of students (as mentioned above), it would firstly facilitate the reduction of the 4-storey flat roofed 'plain blocks' to 3-storey (more in keeping with the area) buildings and would secondly allow for more 'green' space provided between the buildings and thus fulfilling the 'green' agenda. It should be remembered that this is predominately a residential area and has been an open space for some years.

' Our comments regarding access are the same as for the first application, as we fail to understand why the 'overall' site should need 'another' vehicle entrance/exit onto Riseholme Road. There is already a perfectly adequate access to the Sports Centre and the Castle Academy (with central bollards and slip roads etc) which with the addition of traffic lights would provide a much better and safer access to the whole site to the benefit of all three organisations and the public. This is a dangerous stretch of road as due to the nature and design of the road, vehicles passing at this point are at or even over the speed limit and the whole area would benefit from proper traffic control. We would suggest that a purely pedestrian access be made at the southern end of the site to allow students to walk to and from the main Longdales Road site

' Furthermore, there is a complete lack of safety measures for the students moving on foot between the two sites. The roundabout offers little protection or assistance from the constant flow of vehicles. In fact, the roundabout creates its own dangers as drivers approaching the roundabout are constantly looking to their right to see if they can easily enter the flow. This means that their awareness of pedestrians approaching from the left can go completely unsighted. We are amazed that Highways seem oblivious of this danger and that they have not insisted on better

pedestrian protection.

' Concern must be raised over the lack of consideration of car parking. Whilst we understand the Council's and Universities position to discourage the use motor vehicles, it is inevitable that some students, particularly mature students, WILL bring motor vehicles and this will inevitably lead to the residential streets around the university being further blighted by cars parked in residential streets.

' With the pressure now on everyone to consider the 'green' agenda, it is unbelievable that the flat roofed buildings do not have solar panels on them. This would be a big step towards the carbon free environment that is desired and Bishop Grosseteste University ought to be leading by example.

' We would also echo the comments of the Arboriculturist and are dismayed by the number of trees to be removed.

Education Planning Manager, Lincolnshire County Council

Comment Date: Thu 18 Mar 2021

The County Council has no comments to make on this application in relation to education.

Upper Witham, Witham First District & Witham Third District

Comment Date: Fri 12 Mar 2021

Witham 3rd Extended Area - the board has no comments on this application, the development does not affect the interests of the board.

Warren Peppard
Head of Development Management
Lincolnshire County Council
County Offices
Newland
Lincoln LN1 1YL
Tel: 01522 782070
HighwaysSUDsSupport@lincolnshire.gov.uk

To: Lincoln City Council

Application Ref: 2021/0130/FUL

Proposal: **Erection of five 3 and 4 storey buildings and twelve 2 and 3 storey town houses for student accommodation with vehicular access from Riseholme Road (Resubmission)**

Location: **Land Adjacent To Yarborough Leisure Centre, Riseholme Road, Lincoln**

With reference to the above application received 19 February 2021

Notice is hereby given that the County Council as Local Highway and Lead Local Flood Authority:

Requests that any permission given by the Local Planning Authority shall include the conditions below.

CONDITIONS (INCLUDING REASONS)

There are few amendments to this resubmission compared with the previous application with regard to highway and drainage matters. As such, the response remains largely unchanged.

Vehicular access to the site is acceptable, with good visibility and geometry for the intended use. The site is located in a sustainable location with good access by foot, cycle and bus to the university, local amenities and facilities in the city centre. As noted later in the response, we request additional weekday evening bus services to serve the development for three years post final completion. Students residing in the accommodation will be prohibited from bringing a private vehicle to university by means of a stipulation in their contract and as such will be reliant on sustainable transport modes. The proposals include adequate cycle parking provision with associated infrastructure such as lockers and e-bike charging facilities. There is sufficient car parking provided within the site for staff and those living in accessible accommodation. Refuse collection will be undertaken within the site curtilage and swept path analysis has been submitted to demonstrate the manoeuvre can be undertaken by the intended vehicle.

Further investigative and design work has been undertaken on the drainage proposals since the previous submission to demonstrate that all surface water run-off from the site can be discharged

via infiltration to ground without the requirement of an overflow to the mains sewer in Riseholme Road. The strategy has been designed to accommodate 1 in 100 year rainfall event with 40% uplift for climate change allowance.

Highway Condition 00

No development shall take place until a Construction Management Plan and Method Statement has been submitted to and approved in writing by the Local Planning Authority which shall indicate measures to mitigate against traffic generation and drainage of the site during the construction stage of the proposed development.

The Construction Management Plan and Method Statement shall include;

- phasing of the development to include access construction;
- the parking of vehicles of site operatives and visitors;
- loading and unloading of plant and materials;
- storage of plant and materials used in constructing the development;
- wheel washing facilities;
- strategy stating how surface water run off on and from the development will be managed during construction and protection measures for any sustainable drainage features. This should include drawing(s) showing how the drainage systems (permanent or temporary) connect to an outfall (temporary or permanent) during construction.

The Construction Management Plan and Method Statement shall be strictly adhered to throughout the construction period.

Reason: To ensure that the permitted development is adequately drained without creating or increasing flood risk to land or property adjacent to, or downstream of, the permitted development during construction and to ensure that suitable traffic routes are agreed.

Highway Condition 27

The permitted development shall not be occupied until those parts of the approved Travel Plan that are identified therein as being capable of implementation before occupation shall be implemented in accordance with the timetable contained therein and shall continue to be implemented for as long as any part of the development is occupied.

Reason: In order that the permitted development conforms to the requirements of the National Planning Policy Framework, by ensuring that access to the site is sustainable and that there is a reduced dependency on the private car for journeys to and from the development.

Highway Informative 03

The permitted development requires the formation of a new/amended vehicular access. These works will require approval from the Highway Authority in accordance with Section 184 of the Highways Act. The works should be constructed in accordance with the Authority's specification that is current at the time of construction. Relocation of existing apparatus, underground services or street furniture will be the responsibility of the applicant, prior to application. For application guidance, approval and specification details, please visit

<https://www.lincolnshire.gov.uk/licences-permits/apply-dropped-kerb> or contact vehiclecrossings@lincolnshire.gov.uk

Highway Informative 08

Please contact the Lincolnshire County Council Streetworks and Permitting Team on 01522 782070 to discuss any proposed statutory utility connections and any other works which will be required within the public highway in association with the development permitted under this Consent. This will enable Lincolnshire County Council to assist in the coordination and timings of these works.

Sustainable Transport Provision

There is an existing commercial Stagecoach evening service which operates on a Friday and Saturday. We request that this service be increased to operate Monday - Saturday. This service should be in place prior to occupation of the student accommodation and continue for 3 years post final completion.

An obligation for delivery of this service should be sought from the developer and secured by condition. The developer is to be responsible for the provision of this service and may wish to enter into a contract with the transport provider to deliver this. The contract would be between the developer and the transport provider and negotiated between the two. The developer should be required to undertake due diligence to ensure that the likely cost of the provision is met. LCC's Transportation department could provide support if required.

Case Officer:
Becky Melhuish
for Warren Peppard
Head of Development Management

Date: 6 May 2021

NHS Lincolnshire Clinical Commissioning Group

Application Number: 2021-0130

**Location: Land Adjacent To Yarborough Leisure Centre, Riseholme Road,
Lincoln**

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|---|---|---------------------|-----|-------------|------------------------|-----------------------------|----------------------------|---------------------------------|------|---------------------------------------|------------------|----------------------|---------|-----------------------------------|--|---------------------|-----|-------------|------------------------|-----------------------------|----------------------------|--------------------------------|----------------------------|---------------------------------------|--------------------|----------------------|---------|-----------------------------------|---|
| Impact of new development on GP practice | <p>The above development is proposing 293 dwellings which, based on the average of 1 person per dwelling for the Lincoln City Council area, would result in an increase in patient population of 293.</p> <p>The calculations below show the likely impact of this new population in terms of number of additional consultation time required by clinicians. This is based on the Department of Health calculation in HBN11-01: Facilities for Primary and Community Care Services.</p> <p>Consulting room GP</p> <table border="1"> <tr><td>Proposed population</td><td>293</td></tr> <tr><td>Access rate</td><td>5260 per 1000 patients</td></tr> <tr><td>Anticipated annual contacts</td><td>$0.293 \times 5260 = 1541$</td></tr> <tr><td>Assume 100% patient use of room</td><td>1541</td></tr> <tr><td>Assume surgery open 50 weeks per year</td><td>$1541/50 = 30.8$</td></tr> <tr><td>Appointment duration</td><td>15 mins</td></tr> <tr><td>Patient appointment time per week</td><td>$30.8 \times 15/60 = 7.7$ hrs per week</td></tr> </table> <p>Treatment room Practice Nurse</p> <table border="1"> <tr><td>Proposed population</td><td>293</td></tr> <tr><td>Access rate</td><td>5260 per 1000 patients</td></tr> <tr><td>Anticipated annual contacts</td><td>$0.293 \times 5260 = 1541$</td></tr> <tr><td>Assume 20% patient use of room</td><td>$1541 \times 20\% = 308.2$</td></tr> <tr><td>Assume surgery open 50 weeks per year</td><td>$308.2/50 = 6.165$</td></tr> <tr><td>Appointment duration</td><td>20 mins</td></tr> <tr><td>Patient appointment time per week</td><td>$6.165 \times 20/60 = 2.1$ hrs per week</td></tr> </table> <p>Therefore an increase in population of 293 in the Lincoln City Council area will place extra pressure on existing provisions, for example- extra appointments requires additional consulting hours (as demonstrated in the calculations above.) This in turn impacts on premises, with extra consulting/treatment room requirements.</p> | Proposed population | 293 | Access rate | 5260 per 1000 patients | Anticipated annual contacts | $0.293 \times 5260 = 1541$ | Assume 100% patient use of room | 1541 | Assume surgery open 50 weeks per year | $1541/50 = 30.8$ | Appointment duration | 15 mins | Patient appointment time per week | $30.8 \times 15/60 = 7.7$ hrs per week | Proposed population | 293 | Access rate | 5260 per 1000 patients | Anticipated annual contacts | $0.293 \times 5260 = 1541$ | Assume 20% patient use of room | $1541 \times 20\% = 308.2$ | Assume surgery open 50 weeks per year | $308.2/50 = 6.165$ | Appointment duration | 20 mins | Patient appointment time per week | $6.165 \times 20/60 = 2.1$ hrs per week |
| Proposed population | 293 | | | | | | | | | | | | | | | | | | | | | | | | | | | | |
| Access rate | 5260 per 1000 patients | | | | | | | | | | | | | | | | | | | | | | | | | | | | |
| Anticipated annual contacts | $0.293 \times 5260 = 1541$ | | | | | | | | | | | | | | | | | | | | | | | | | | | | |
| Assume 100% patient use of room | 1541 | | | | | | | | | | | | | | | | | | | | | | | | | | | | |
| Assume surgery open 50 weeks per year | $1541/50 = 30.8$ | | | | | | | | | | | | | | | | | | | | | | | | | | | | |
| Appointment duration | 15 mins | | | | | | | | | | | | | | | | | | | | | | | | | | | | |
| Patient appointment time per week | $30.8 \times 15/60 = 7.7$ hrs per week | | | | | | | | | | | | | | | | | | | | | | | | | | | | |
| Proposed population | 293 | | | | | | | | | | | | | | | | | | | | | | | | | | | | |
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| Patient appointment time per week | $6.165 \times 20/60 = 2.1$ hrs per week | | | | | | | | | | | | | | | | | | | | | | | | | | | | |
| GP practice(s) most likely to be affected by the housing development | <p>Due to the fact that patients can choose to register at any practice that covers the area of the development, and there are no waiting lists for patients, all practices that provide care for the region that the development falls within are obliged to take on patients, regardless of capacity.</p> | | | | | | | | | | | | | | | | | | | | | | | | | | | | |

¹ Source: Lincolnshire Research Observatory 2011 Census Data

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| | <p>The development could impact on the following practices: Lindum Medical Practice Minster Medical Practice The University Surgery Abbey Medical Practice Glebe Park Surgery</p> <p>Due to the location of the development the 2 practices that would be impacted the most are Lindum and Minster Medical Practices.</p> |
| <p>Issues to be addressed to ensure the development is acceptable</p> | <p>Lincolnshire Clinical Commissioning Group (LCCG) wishes for the Section 106 contribution from the development of 293 dwellings on the land off adjacent to Yarborough Leisure Centre, Riseholme Road, to contribute to the development of additional clinical space in both Lindum Medical Practice and Minster Medical Practice.</p> <p>Nationally the NHS Long Term Plan, published in January 2019, seeks to improve the quality of patient care and health outcomes. The plan builds on previous national strategies, including the General Practice Forward View (2016), and includes measures to:</p> <ul style="list-style-type: none"> • Improve out-of-hospital care, supporting primary medical and community health services; • Ensure all children get the best start in life by continuing to improve maternity safety including halving the number of stillbirths, maternal and neonatal deaths and serious brain injury by 2025; • Support older people through more personalised care and stronger community and primary care services; • Make digital health services a mainstream part of the NHS, so that patients in England will be able to access a digital GP offer. <p>The strategic direction both nationally through the development of Primary Care Networks (PCN) and locally through the Sustainability Transformation Plan, is to provide primary care at scale, facilitating 100% patient population coverage by primary care and services being delivered in the community in an integrated way. Included within the PCNs is the requirement to provide on-line access to services and appointments, as well as the introduction of additional roles to enhance the delivery of primary care, including Clinical Pharmacists, Physiotherapists, Social Prescribers, Emergency Care and Mental Health Practitioners.</p> <p>Due to the location of the development the two practices impacted on are Lindum and Minster Medical Practices. The practices are within the LCCG IMP Primary Care Network where the housing is being developed. There is a huge variation in the type, age and suitability of current premises within the PCN.</p> <p>The Lindum Medical Practice currently has 14 clinical rooms within in the surgery with between 90-100% utilisation depending on the day of the week. The practice is providing primary care to a patient list size of 9,419 (list size as on 1st Jan 2021).</p> |

| | <p>Minster Medical Practice currently has 13 clinical rooms within in the surgery with a minimum of 90% room utilisation. The practice is providing primary care to a patient list size of 10,356 (list size as on 1st Jan 2021).</p> <p>Both practices have significant challenges managing room capacity; their existing clinical space does not provide sufficient capacity to manage the projected patient increase.</p> <p>The PCN is working to employ additional staff to increase capacity within primary care and as more care is moved to the community from secondary care closer to individuals home. The additional clinical rooms will enable the provision of further clinical staff and services to meet the patient needs.</p> <p>The additional clinical rooms will also facilitate both collaboration and integrated working of health and wellbeing services, to meet the projected increase in the patient population. Whilst supporting the sustainability of key services in the community enabling an equitable health care provision across the patient population.</p> | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | |
|---|---|-------------|--------------------------|-------------|-------------|------------|-------------|---------|-------|-----|-------|----------|-----|----------------|-------|--|--|---------|----|--|--|--|--|--|-----|--------------------------------|--|--|--|--|----|--------------------|--|--|--|--|-----|-------------------------------------|--|--|--|--|--------|
| <p>Fairly and reasonably related in scale and kind to the development.</p> | <table border="1" data-bbox="469 757 1329 1010"> <thead> <tr> <th></th> <th>Average list size per GP</th> <th>Required m2</th> <th>£ per m2</th> <th>Total cost</th> <th>£per person</th> </tr> </thead> <tbody> <tr> <td>GP team</td> <td>1,800</td> <td>170</td> <td>2,300</td> <td>£391,000</td> <td>217</td> </tr> <tr> <td>GP furnishings</td> <td>1,800</td> <td></td> <td></td> <td>£20,000</td> <td>12</td> </tr> <tr> <td></td> <td></td> <td></td> <td></td> <td></td> <td>229</td> </tr> <tr> <td colspan="5">Contingency requirements @ 20%</td> <td>46</td> </tr> <tr> <td colspan="5">Total per resident</td> <td>275</td> </tr> <tr> <td colspan="5">Total per dwelling (resident x 2.3)</td> <td>632.50</td> </tr> </tbody> </table> <p>The table above shows the contribution formula which is based on the needs of a Primary Care Health Team and associated administration support. By applying average national list sizes to these groups and identifying the required area and furnishings, a total cost of £275 per patient is determined. This figure is multiplied by 2.3 (the average number of persons per dwelling for Lincoln City Council) to provide a funding per dwelling of £632.50.</p> | | Average list size per GP | Required m2 | £ per m2 | Total cost | £per person | GP team | 1,800 | 170 | 2,300 | £391,000 | 217 | GP furnishings | 1,800 | | | £20,000 | 12 | | | | | | 229 | Contingency requirements @ 20% | | | | | 46 | Total per resident | | | | | 275 | Total per dwelling (resident x 2.3) | | | | | 632.50 |
| | Average list size per GP | Required m2 | £ per m2 | Total cost | £per person | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | |
| GP team | 1,800 | 170 | 2,300 | £391,000 | 217 | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | |
| GP furnishings | 1,800 | | | £20,000 | 12 | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | |
| | | | | | 229 | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | |
| Contingency requirements @ 20% | | | | | 46 | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | |
| Total per resident | | | | | 275 | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | |
| Total per dwelling (resident x 2.3) | | | | | 632.50 | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | |
| <p>Financial Contribution requested</p> | <p>The contribution requested for the development of £80,575.00 (£275 x 293 dwellings.)</p> <p>The contribution amount has been set at £275 rather than the normal £632.50 due to the development being for student accommodation which normally has 1 resident per dwelling rather than 2.3.</p> <p>Please note that the expectation is that the appropriate indexation rate and any late payment penalties would also be paid on top of the value specified above.</p> | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | |
| <p>Trigger point</p> | <p>After reviewing the practice response regarding their capacity to accommodate the increase in patient numbers arising from this development, it's requested that the trigger point for the release for funds for health care be set at payment of all monies upon completion of 50 percent of the dwellings for each phase of the development. This will ensure the practices are not placed under undue pressure.</p> | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | |

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| | <p>To ensure that there is sufficient time carry out the works and allow the s106 funds to be spent in the most appropriate way, a repayment period of 10 years from receipt of the final payment transfer (for the entire development) to the relevant NHS body will be required.</p> |
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Alex Newton
Locality Improvement and Delivery Manager
4th March 2021

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|----------------------------|---|
| Application Number: | 2021/0871/FUL |
| Site Address: | 40 - 42 Michaelgate, Lincoln, Lincoln |
| Target Date: | 28th December 2021 |
| Agent Name: | None |
| Applicant Name: | Mr Michael Gilbert |
| Proposal: | Subdivision of existing C3 dwelling (used as holiday let) to two C3 dwellings (to be used as two holiday lets). |

Background - Site Location and Description

The application relates to 40-42 Michaelgate, a grade II listed building. The property is located on the east side of Michaelgate, close to the junction with Steep Hill and Bailgate. It adjoins The Harlequin, 20-22 Steep Hill to the east, which is a grade II* listed building. To the south of the property is a yard, beyond which is the neighbouring 36 Michaelgate. The property is located within the Cathedral and City Centre Conservation Area.

The City Council's Principal Conservation Officer advises that the building has historically been two distinct properties, as suggested by the address, and by the various dates of construction. No. 42, to the north, has been a house and shop dating from the mid and late 18th century. Constructed from brick with a stone plinth it is two storeys plus garrets and includes a late C18 glazing bar shop window with pilasters and cornice. No. 40, to the south, is a domestic property and potentially dates from the 14th century with 18th, 19th, and 20th century alterations. The half-timbered structure sits on a dressed stone and brick ground floor plinth. The gable framing has curved braces and corner posts and the half-timber work is also expressed internally.

There is currently access through a party wall that links the two buildings as a single unit and in recent years the property has been a holiday let, managed by the National Trust. The building has been vacant since 2018 and the application proposes to reinstate the historic use of the building as two distinct dwellings. It is proposed to continue the existing holiday let arrangement with the two dwellings.

The application proposes that no. 42 will be accessed via the existing front door directly from Michaelgate. It will provide a living/dining area on the ground floor with a kitchen in the rear, single storey off-shoot. The kitchen has direct access to the rear yard. At first floor there will be a bedroom and bathroom with a further bedroom on the second floor, within the attic. No. 40 will be accessed through an existing door within the side elevation via the yard. This sits adjacent to Michaelgate and also provides access to the yard for no. 42, which sits on a slightly higher level to the rear. The internal arrangement of no. 40 will be a bedroom and bathroom on the ground floor with the living/dining/kitchen on the first floor.

Internal and external alterations are proposed to facilitate the subdivision, which also include repair and enhancement works. These works do not require the benefit of planning permission although an accompanying application (2021/0759/LBC) for listed building consent will consider these with regard to the impact on the building as a designated heritage asset.

Both the full planning permission and listed building consent applications are being presented to Members of the Planning Committee for determination as the application property is owned by the City Council.

Site History

| Reference: | Description | Status | Decision Date: |
|-------------------|--|-----------------------|----------------|
| 2021/0759/LB C | Internal and external alterations to facilitate subdivision of existing C3 dwelling (used as holiday let) to two C3 dwellings (to be used as two holiday lets). Internal alterations including new partitions, re-pointing of stone walls with lime mortar, replacement of brick wall with reclaimed bricks, new limecrete floor, damp proof works, removal of staircase and alterations to retained staircase. External alterations including re-roofing of single storey flat roof off-shoot and installation of conservation rooflight, replacement timber windows, refurbishment of windows and dormer, removal of render from south east elevation to expose timber frame, replacement of concrete slabs with Yorkstone paving and refurbishment of gates. (Listed Building Consent). | Pending Decision | |
| 2018/0591/LB C | Works to repair structural damage including taking down and reinstating a section of the north wall, reinstating meters, and services, repairing damaged plasterwork and other finishes and redecoration to certain rooms. | Granted Conditionally | 21st June 2018 |

Case Officer Site Visit

Undertaken on 10th November 2021.

Policies Referred to

- Policy LP25 The Historic Environment
- Policy LP26 Design and Amenity
- Policy LP33 Lincoln's City Centre Primary Shopping Area and Central Mixed-Use Area
- National Planning Policy Framework

Issues

- Policy context and principle of use
- Visually amenity and character and appearance of the conservation area
- Residential amenity
- Parking and highways

Consultations

Consultations were carried out in accordance with the Statement of Community Involvement, adopted January 2018.

Statutory and Public Consultation Responses

At the time of writing this report the consultation period is still underway and to date no statutory or public consultation responses have been received relating to this full application. The consultation period will have expired prior to the committee meeting and any comments received will be provided within the update sheet. Officers would note, however, that the same consultations have been undertaken for both the full and listed building consent applications. Therefore, the responses to the listed building consent application that are relevant to this full application are referenced below.

Consideration

Policy Context and Principle of Use

The site is located within the Central Mixed-Use Area. Central Lincolnshire Local Plan (CLLP) Policy LP33 advises that the principle of residential uses will be supported in the mixed-use area. The existing residential use is already established, and the sub-division would neither result in the area losing its mixed-use character nor would it detract from the vitality or viability of the primary shopping area. The principle of the proposal would therefore be in accordance with the requirements of Policy LP33.

From a heritage perspective the principle of reinstating the historic use of the building as two dwellings is welcomed by officers and the City Council's Principal Conservation Officer. This proposal would be compatible with and enhance the historic character, and its use as a holiday let would assist in the maintenance and enhancement of the building. Supporting the principle of the sub-division would therefore also be in accordance with CLLP Policy LP25.

Visual Amenity and Character and Appearance of the Conservation Area

External alterations are proposed including the re-roofing of the single storey flat roof off-shoot, installation of a conservation rooflight, replacement timber windows, refurbishment of windows and dormer, removal of render from south east elevation to expose the timber frame, replacement of concrete slabs with Yorkstone paving and the refurbishment of the gates. None of these works require planning permission although officers welcome these as part of the proposed sub-division proposals and consider that they would be an improvement to the building and would add to the overall quality of the area, as required by CLLP Policy LP26 and paragraph 130 of the National Planning Policy Framework (NPPF).

Accordingly, it is also considered that the application would enhance the character and appearance of the conservation area, as required by CLLP Policy LP25.

Residential Amenity

The occupier of 36 Michaelgate has made comments on the proposals against the listed building consent application. While they welcome the refurbishment of the properties, they

raise concern regarding the proposed layout of 40 Michaelgate. The living/dining/kitchen area is located on the first floor, and the neighbouring occupant considers that the increased occupancy of this will exacerbate issues of overlooking towards their bedroom, kitchen, dining room and garden. Concern is also raised regarding potential overlooking and loss of privacy from the new paved area, which would sit adjacent to a low wall with the neighbour's garden sitting 2.7m below. These comments are copied in full against the corresponding application.

Officers carefully considered this relationship at the time of the site visit. There are two first floor windows within the side elevation of the host property facing towards the side gable of no. 36, which includes a first-floor window and a ground floor window and door. The ground floor is for the most part obscured by the boundary wall and plantings given the lower land level of the neighbouring property. The existing relationship between the host property and no. 36 is established and the principle of the subdivision of the host property would not change this. The internal layout of the application property cannot be controlled, but in any case, it is not considered that the position of the living areas on the first floor would have a significant impact given the established residential use and the separation between the windows.

The same conclusion has been reached regarding the potential overlooking towards the neighbour's rear garden from the yards within the application site. The existing residential use of the property and the yards is established, and the subdivision into two would not change or unduly exacerbate this relationship.

The City Council's Pollution Control Officer has raised no objection to the application in terms of noise or any other environmental impact.

There are no other properties in the vicinity that would be affected by the proposals. Officers are therefore satisfied that the proposed subdivision would not cause undue harm to the amenities which neighbouring occupants and uses may reasonably expect to enjoy, in accordance with CLLP Policy LP26.

The amenities of the future occupants will also be acceptable. Each property will have independent access and the availability of separate external amenity space. There is no indication of areas for bin or cycle storage, although it would be reasonable to assume that these could be accommodated here.

Parking and Highways

The site does not include off-street parking although it is in a highly sustainable location with easy access to local facilities and public transport links.

Lincolnshire County Council as Local Highway Authority has not yet responded directly to this planning application but has made comments in relation to the listed building consent application, which included reference in the description to the conversion to two units from one. In their consultation response to the listed building consent the County Council state that the proposal will have no impact on the highway, concluding that it is acceptable, and they do not wish to object to the application. Accordingly, officers have no objection to the proposal in respect of parking and highways.

Application Negotiated either at Pre-Application or During Process of Application

No.

Financial Implications

None.

Legal Implications

None.

Equality Implications

None.

Conclusion

The sub-division of the property, re-instating its historic use, is welcomed and would neither result in the area losing its mixed-use character nor would it detract from the vitality or viability of the primary shopping area. The external works associated with the sub-division, although not requiring planning permission, would be an improvement to the building and would enhance the character and appearance of the conservation area. The application would not cause undue harm to the amenities of neighbouring properties. The application would therefore be in accordance with the requirements of CLLP Policies LP25, LP26 and LP33 and guidance within the NPPF.

Application Determined within Target Date

Yes.

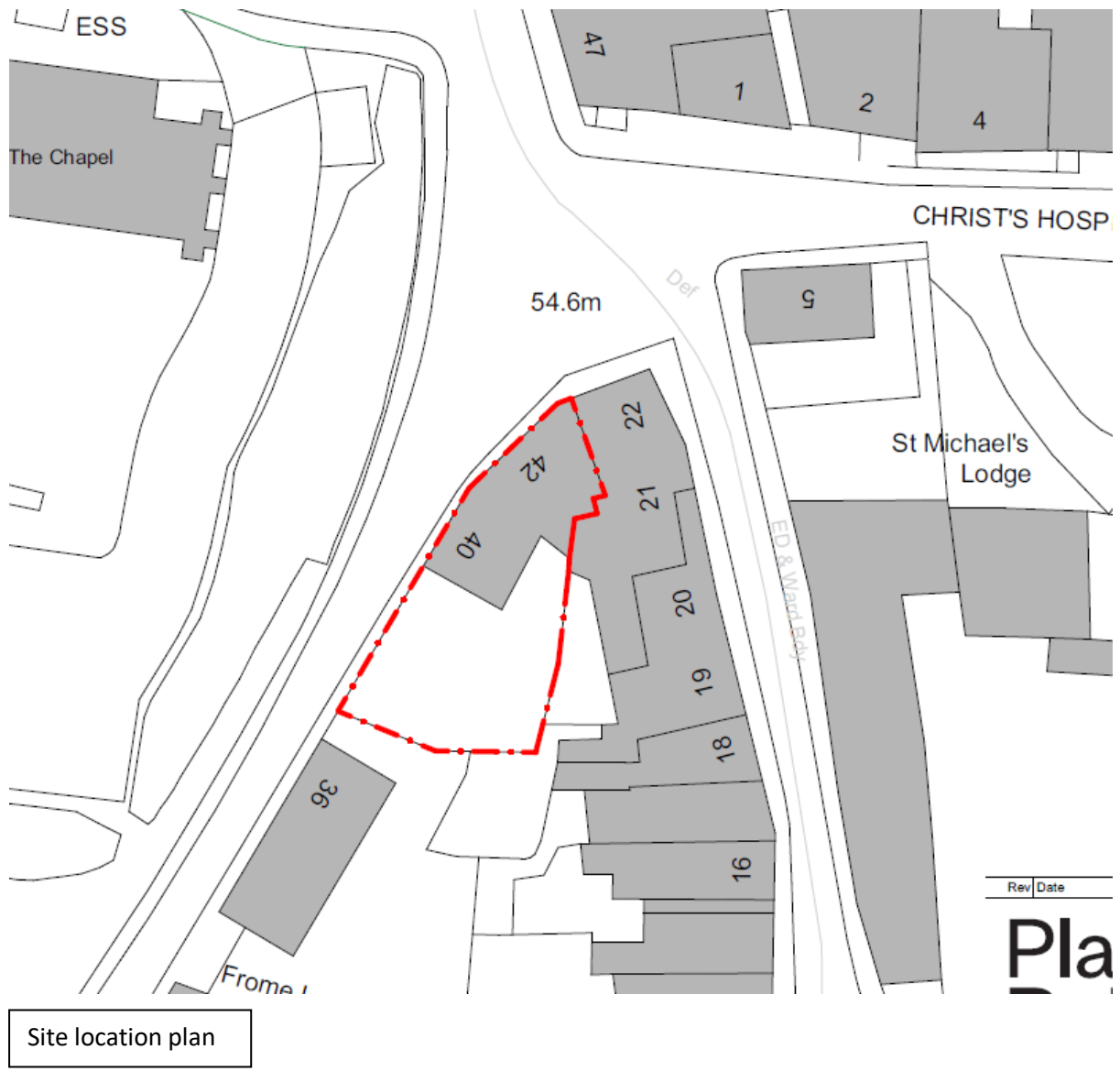
Recommendation

That the application is Granted Conditionally subject to the following conditions:

- Time limit of the permission
- Development in accordance with approved plans

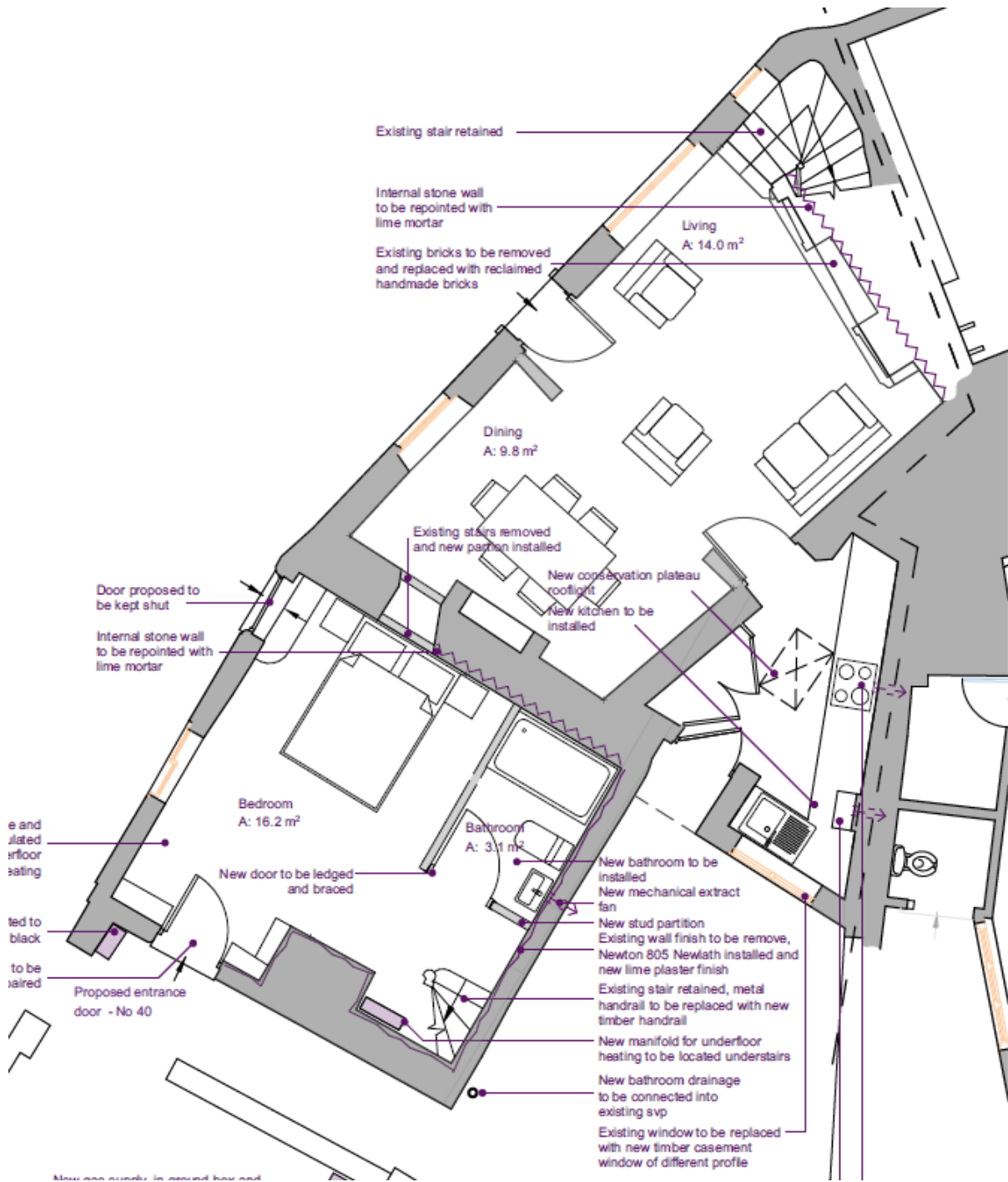
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40-42 Michaelgate plans and photos- for LBC and FUL applications

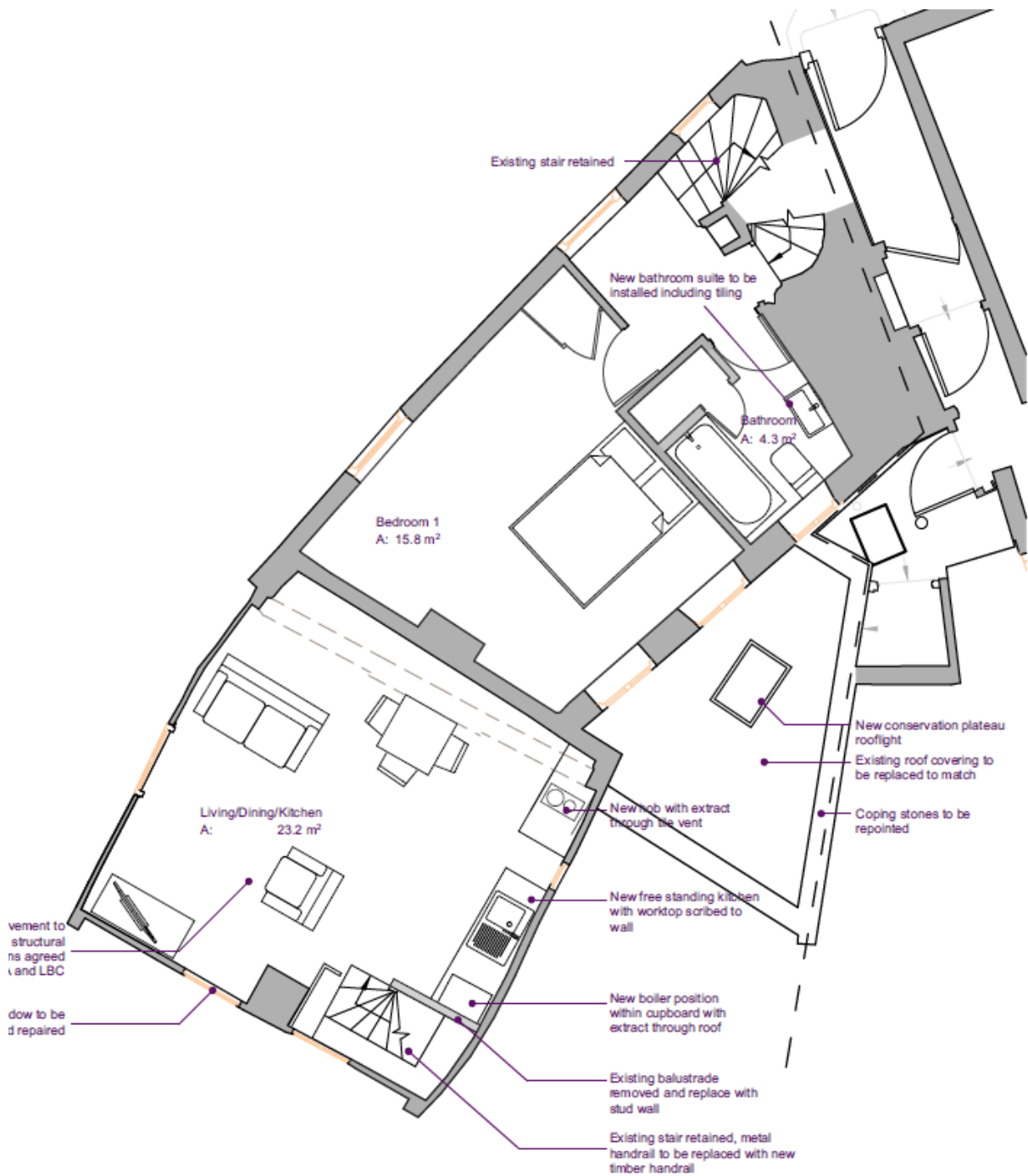




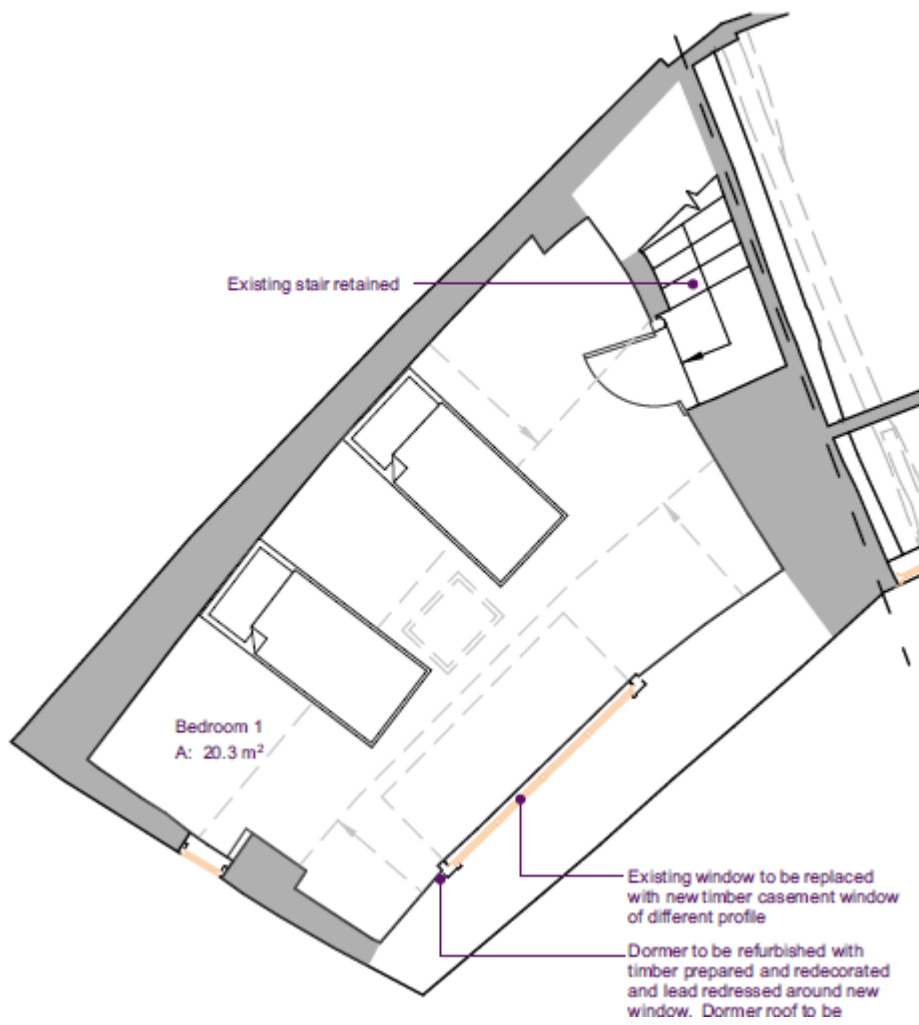
Proposed layout plan



Proposed ground floor plan



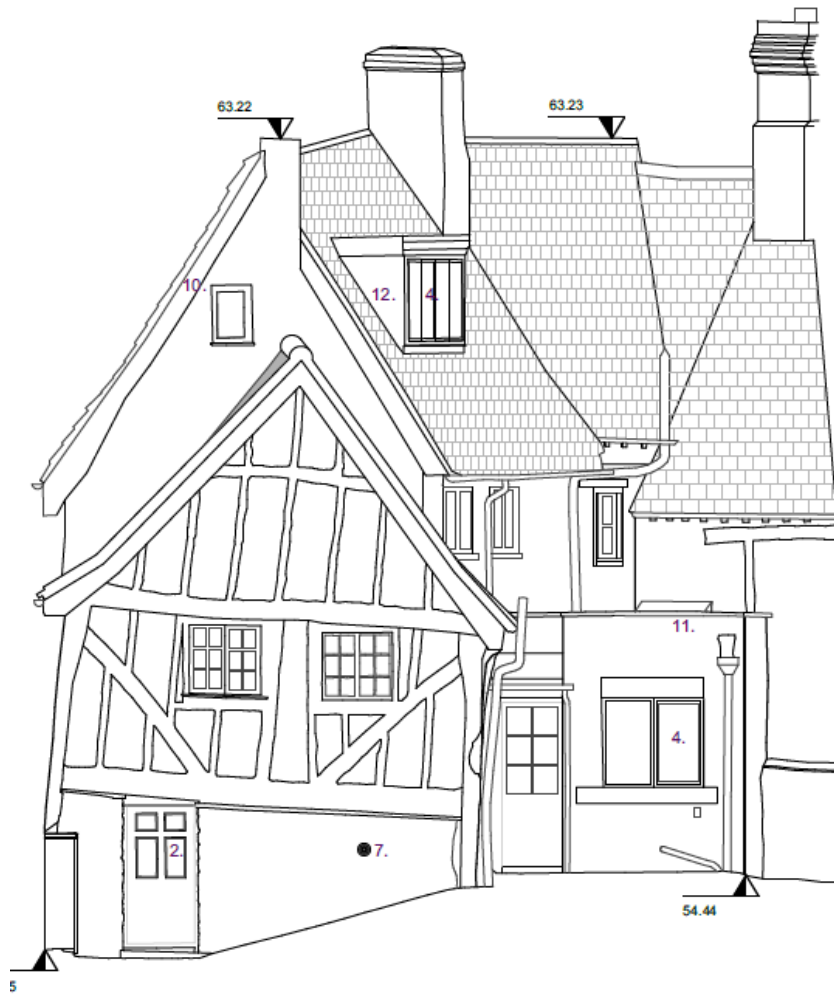
Proposed first floor plan



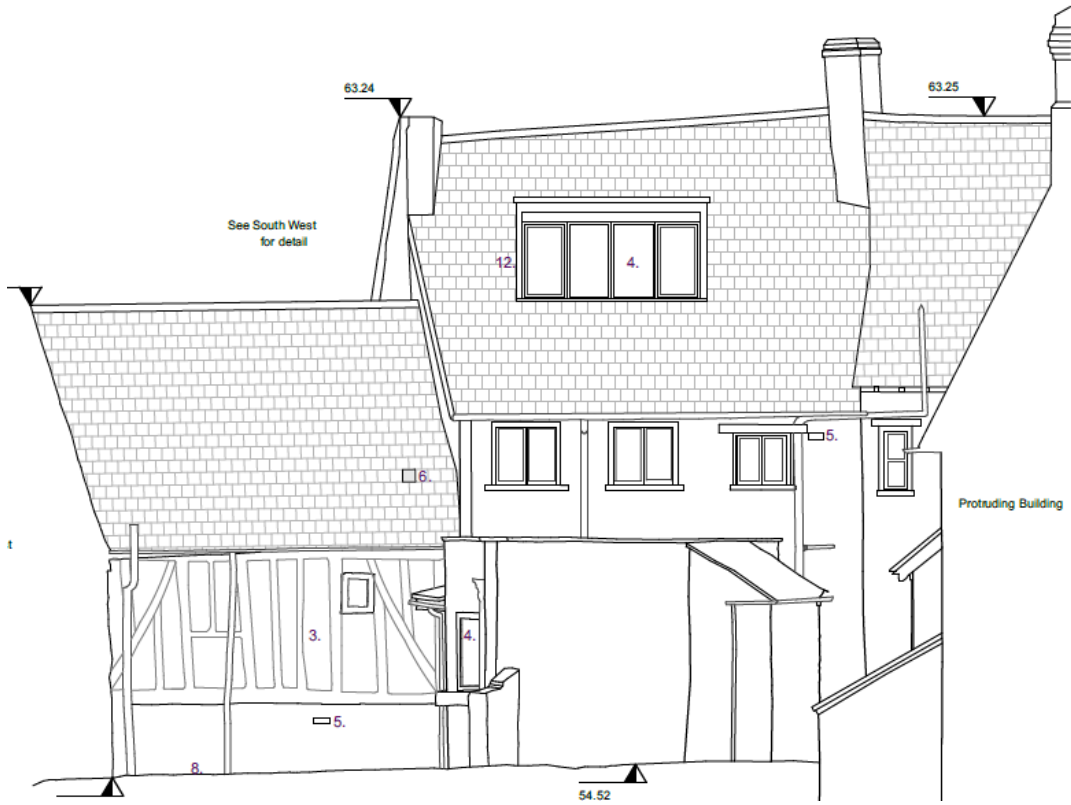
Proposed second floor plan



Proposed front, north west elevation to Michaelgate



Proposed side, south west elevation



Proposed rear, south east elevation



Front elevation to Michaelgate



Side and rear elevation from within site



View of part of front elevation (no. 40) and towards side elevation of 36 Michaelgate



Side elevation of 36 Michaelgate from lower yard, to serve no. 40

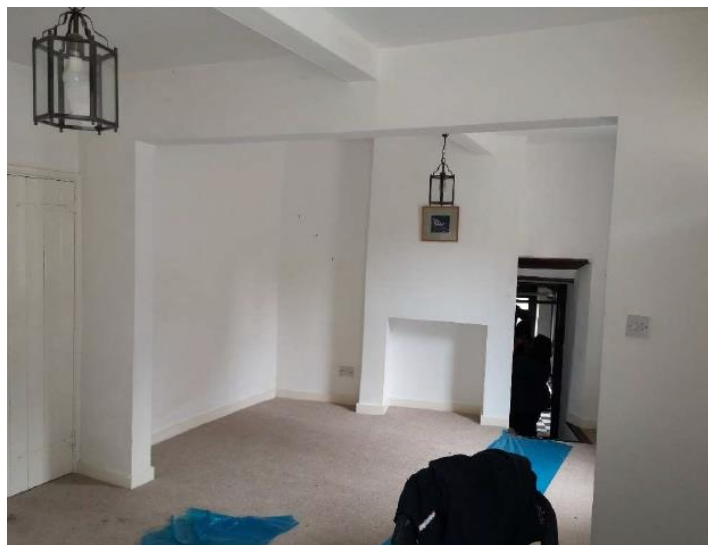


Side elevation of 36 Michaelgate from upper yard, to serve no. 42



Side elevation and garden of 36 Michaelgate

Photos of interior of building below







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| | |
|----------------------------|--|
| Application Number: | 2021/0759/LBC |
| Site Address: | 40 - 42 Michaelgate, Lincoln (LBC) |
| Target Date: | 3rd December 2021 |
| Agent Name: | Heritage Lincolnshire |
| Applicant Name: | Mr Michael Gilbert |
| Proposal: | Internal and external alterations to facilitate subdivision of existing C3 dwelling (used as holiday let) to two C3 dwellings (to be used as two holiday lets). Internal alterations including new partitions, re-pointing of stone walls with lime mortar, replacement of brick wall with reclaimed bricks, new limecrete floor, damp proof works, removal of staircase and alterations to retained staircase. External alterations including re-roofing of single storey flat roof off-shoot and installation of conservation rooflight, replacement timber windows, refurbishment of windows and dormer, removal of render from south east elevation to expose timber frame, replacement of concrete slabs with Yorkstone paving and refurbishment of gates. (Listed Building Consent). |

Background - Site Location and Description

The application relates to 40-42 Michaelgate, a grade II listed building. The property is located on the east side of Michaelgate, close to the junction with Steep Hill and Bailgate. It adjoins The Harlequin, 20-22 Steep Hill to the east, which is a grade II* listed building. To the south of the property is a yard, beyond which is the neighbouring 36 Michaelgate. The property is located within the Cathedral and City Centre Conservation Area.

The City Council's Principal Conservation Officer advises that the building has historically been two distinct properties, as suggested by the address, and by the various dates of construction. No. 42, to the north, has been a house and shop dating from the mid and late 18th century. Constructed from brick with a stone plinth it is two storeys plus garrets and includes a late C18 glazing bar shop window with pilasters and cornice. No. 40, to the south, is a domestic property and potentially dates from the 14th century with 18th, 19th, and 20th century alterations. The half-timbered structure sits on a dressed stone and brick ground floor plinth. The gable framing has curved braces and corner posts and the half-timber work is also expressed internally.

There is currently access through a party wall that links the two buildings as a single unit and in recent years the property has been a holiday let, managed by the National Trust. The building has been vacant since 2018 and the application proposes to reinstate the historic use of the building as two distinct dwellings. It is proposed to continue the existing holiday let arrangement with the two dwellings.

The application proposes that no. 42 will be accessed via the existing front door directly from Michaelgate. It will provide a living/dining area on the ground floor with a kitchen in the rear, single storey off-shoot. The kitchen has direct access to the rear yard. At first floor there will be a bedroom and bathroom with a further bedroom on the second floor, within the attic. No. 40 will be accessed through an existing door within the side elevation via the yard. This sits adjacent to Michaelgate and also provides access to the yard for no. 42, which sits on a slightly higher level to the rear. The internal arrangement of no. 40 will be a bedroom and bathroom on the ground floor with the living/dining/kitchen on the first floor.

This listed building consent will only consider the proposed internal and external alterations with regard to the impact on the building as a designated heritage asset. There is an accompanying application (2021/0871/FUL) for full planning permission which will consider the principle of the use and matters relating to visual amenity, the character and appearance of the conservation area, residential amenity, and parking.

Both the full planning permission and listed building consent applications are being presented to Members of the Planning Committee for determination as the application property is owned by the City Council.

Site History

| Reference: | Description | Status | Decision Date: |
|----------------|--|-----------------------|----------------|
| 2021/0871/FUL | Subdivision of existing C3 dwelling (used as holiday let) to two C3 dwellings (to be used as two holiday lets). | Pending Decision | |
| 2018/0591/LB C | Works to repair structural damage including taking down and reinstating a section of the north wall, reinstating meters, and services, repairing damaged plasterwork and other finishes and redecoration to certain rooms. | Granted Conditionally | 21st June 2018 |

Case Officer Site Visit

Undertaken on 10th November 2021.

Policies Referred to

- Policy LP25 The Historic Environment
- National Planning Policy Framework

Issues

Impact on the building as a designated heritage asset.

Consultations

Consultations were carried out in accordance with the Statement of Community Involvement, adopted January 2018.

Statutory Consultation Responses

| Consultee | Comment |
|---------------------|-------------------|
| Highways & Planning | Comments Received |

| | |
|---------------------|-------------------|
| Lincoln Civic Trust | Comments Received |
|---------------------|-------------------|

Public Consultation Responses

| Name | Address |
|-------------------|--|
| Beverley Newmarch | 36 Michaelgate Lincoln Lincolnshire LN1 3BT |

Consideration

Impact on the Building as a Designated Heritage Asset

The reinstating of the building as two distinct units, as per its traditional layout, is achieved by filling in the doorway made in the party wall. There is no objection to these physical works and the subdivision is welcomed.

The City Council's Principal Conservation Officer notes that further alterations have been carefully considered and have minimal impact. Works include the replacement of a floor and repairs and alterations to the fireplace, neither of which will have an impact on significance as these are modern elements and the proposed works will improve their aesthetic qualities. A new kitchen is proposed on the first floor of no. 40. This has taken careful account of the historic beams and will be sited to ensure the beams are not architecturally compromised and remain the key feature of the room. A new rooflight in the existing kitchen for no. 42 will be sited within a modern roofscape and has no visual impact on the historic elevation. Whilst new flues and vents will be evident, they are of a modest scale and consequently there will be no harmful visual intrusion.

To the first floor, one window is proposed to be replaced, this is also a modern iteration and poorly detailed. If granted consent, then a condition should be applied which ensures that the new window takes advantage of the opportunity to provide a more traditional example with appropriate joinery details.

The Conservation Officer has also made comments regarding the proposed partition wall on the ground floor of no. 40 to provide bathroom facilities. The partition wall comes off the corner of the chimney breast. Whilst this has a harmful impact on the legibility of this particular feature this is lessened by the asymmetry of the room and avoids an unsatisfactory pod arrangement which is the alternative. Additionally, in order to return the building to its original floorplan and make it sustainable the bathroom is a necessary feature, and therefore it is considered that the public benefit of safeguarding the building and enhancing its significance as an independent unit outweighs the less than substantial harm on this occasion.

The Conservation Officer concludes that both properties are currently vacant, and it is considered that the continuation of the most recent use as holiday lets will achieve a sustainable use for the properties, securing their future and enabling their special architectural and historic interest to be appreciated by a wide group of people.

Furthermore, by returning the building into two properties the historic floorplan is reinstated which will enhance significance as will the proposed repairs to the fabric.

No objections are raised to the external works, which will enhance the existing building and its setting.

Officers are therefore satisfied that the proposals do not involve activities or alterations prejudicial to the special architectural or historic interest of the listed building, its fabric or setting, in accordance with Central Lincolnshire Local Plan (CLLP) Policy LP25. Further details of specific works will be required by condition although it is considered that these proposals, along with the sub-division, would be in the interests of the heritage asset and its significance. The proposals would also therefore be in accordance with paragraph 190 of the National Planning Policy Framework (NPPF) which requires that Local Planning Authorities in determining applications should take account of the desirability of sustaining and enhancing the significance of heritage assets and paragraph 199 which requires that when considering the impact of a proposed development on the significance of a designated heritage asset, great weight should be given to the asset's conservation.

Other Matters

The occupier of 36 Michaelgate has made comments on this application in relation to the internal layout of the properties and the potential impact from overlooking and loss of privacy. These matters cannot be considered as part of the listed building consent application and will therefore be considered under the "Residential Amenity" section of the corresponding full application report.

The comments received from the Lincolnshire County Council as Local Highway and Lead Local Flood Authority will also be dealt with as part of the corresponding full application.

Application Negotiated either at Pre-application or during process of application

No.

Financial Implications

None.

Legal Implications

None.

Equality Implications

None.

Conclusion

The proposals do not involve activities or alterations prejudicial to the special architectural or historic interest of the listed building, its fabric or setting, and would indeed be of benefit to the building, safeguarding its future. The proposals would therefore be in accordance with CLLP Policy LP25 and guidance within the NPPF.

Application Determined within Target Date

Yes.

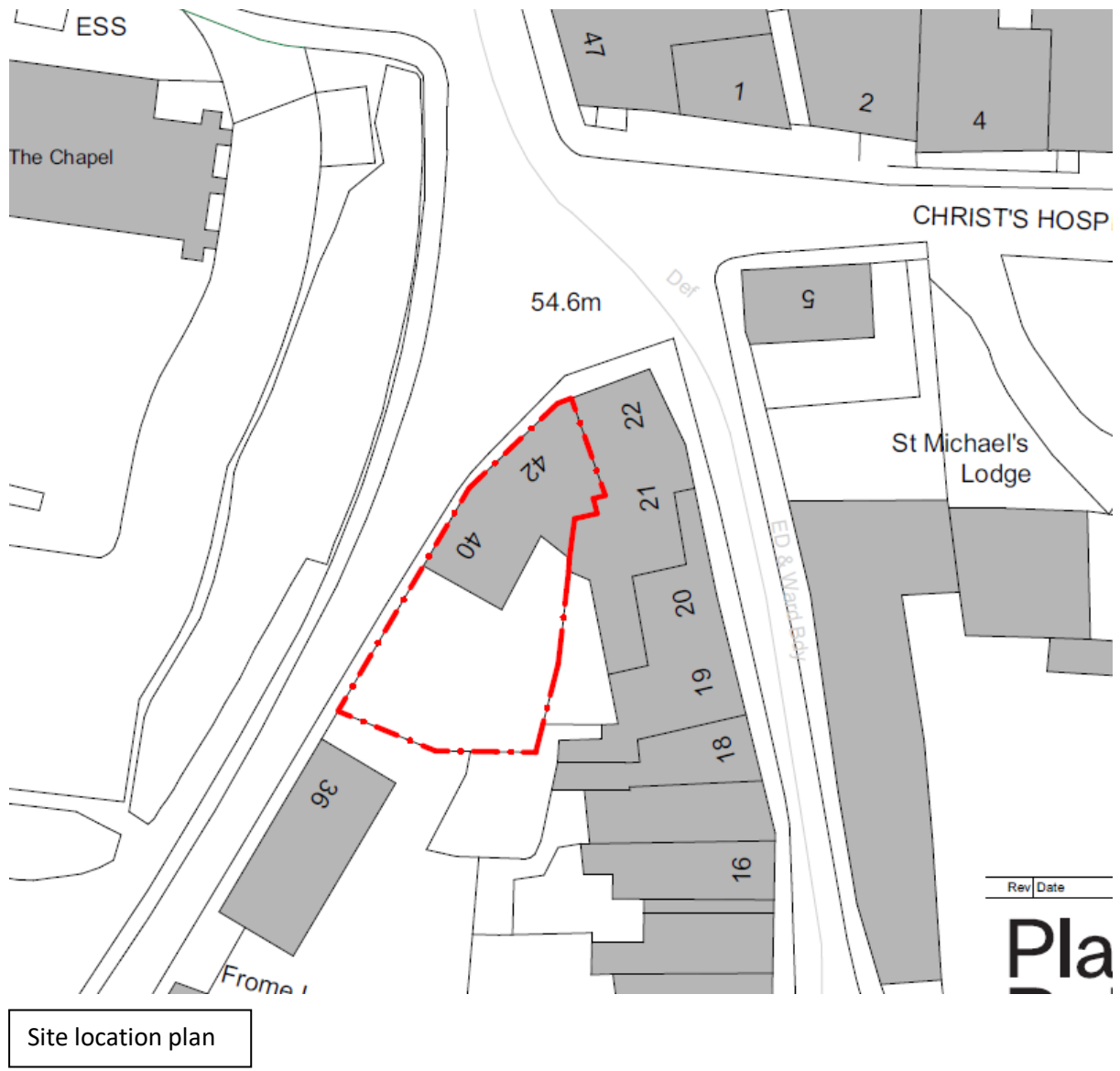
Recommendation

That the application is Granted Conditionally subject to the following conditions:

- Time limit of the permission
- Development in accordance with approved plans
- Methodology for removal of modern render
- Methodology for preparation and application of new render
- Sample of new lime render
- Repointing methodology and mortar mix to be agreed
- Replacement handmade brick sample
- Details of rooflight in kitchen
- Details of new external flue
- Details of new mechanical extract fan
- Scope and methodology for refurbishments of gate
- 1:5 joinery details for new window
- 1:5 joinery details of new handrail to stairs
- 1:5 joinery for new balustrade

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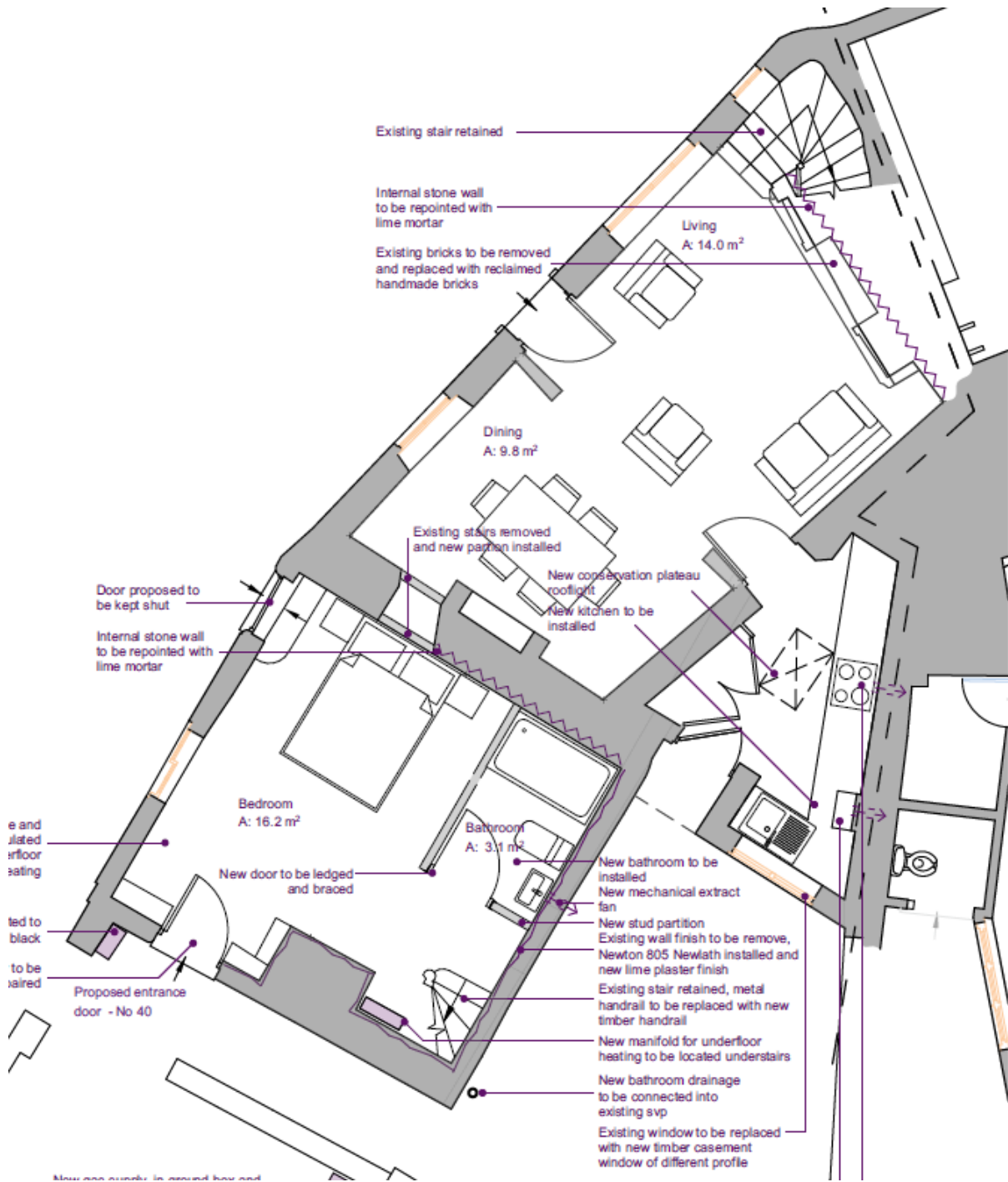
40-42 Michaelgate plans and photos- for LBC and FUL applications



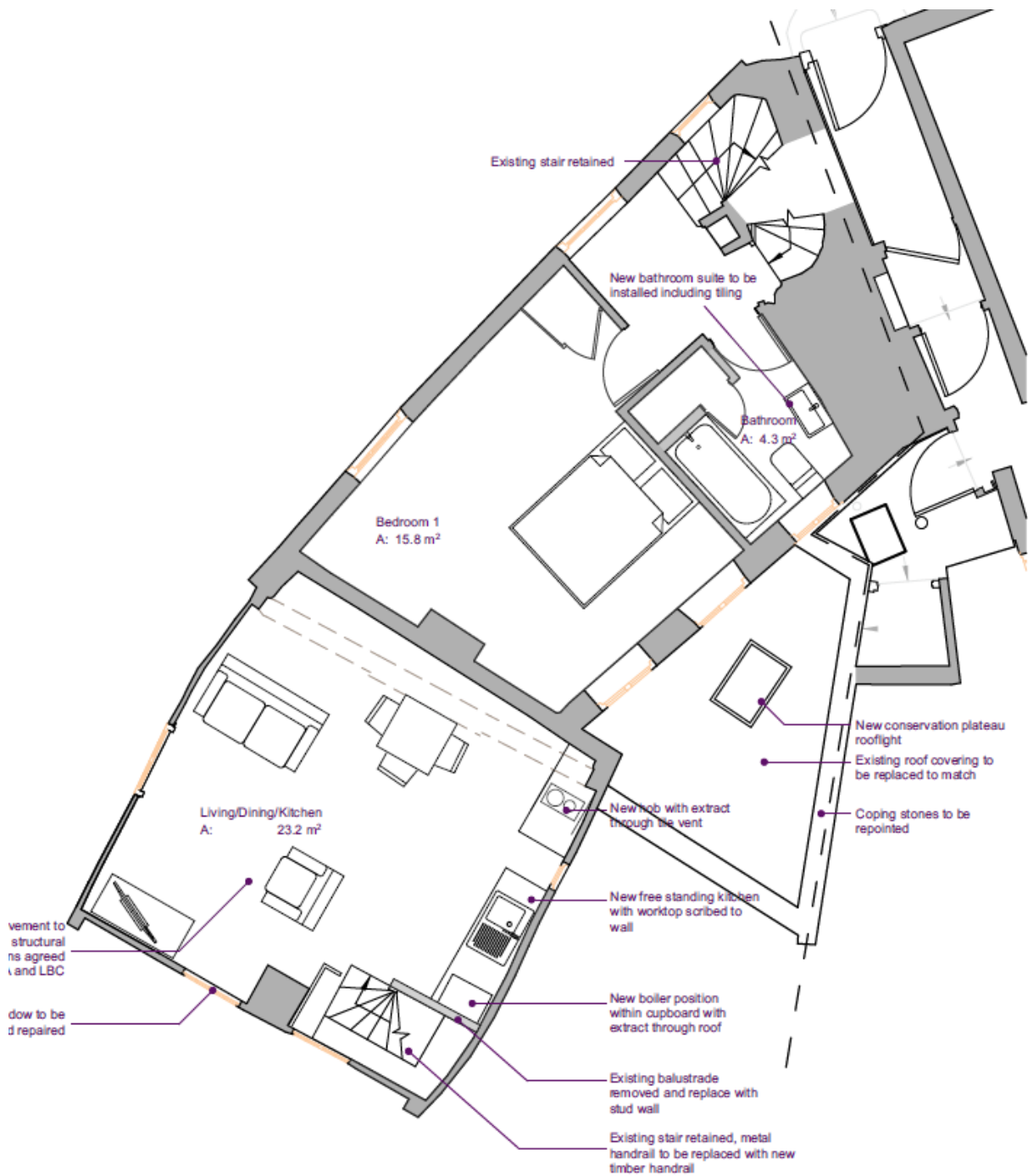
Site location plan



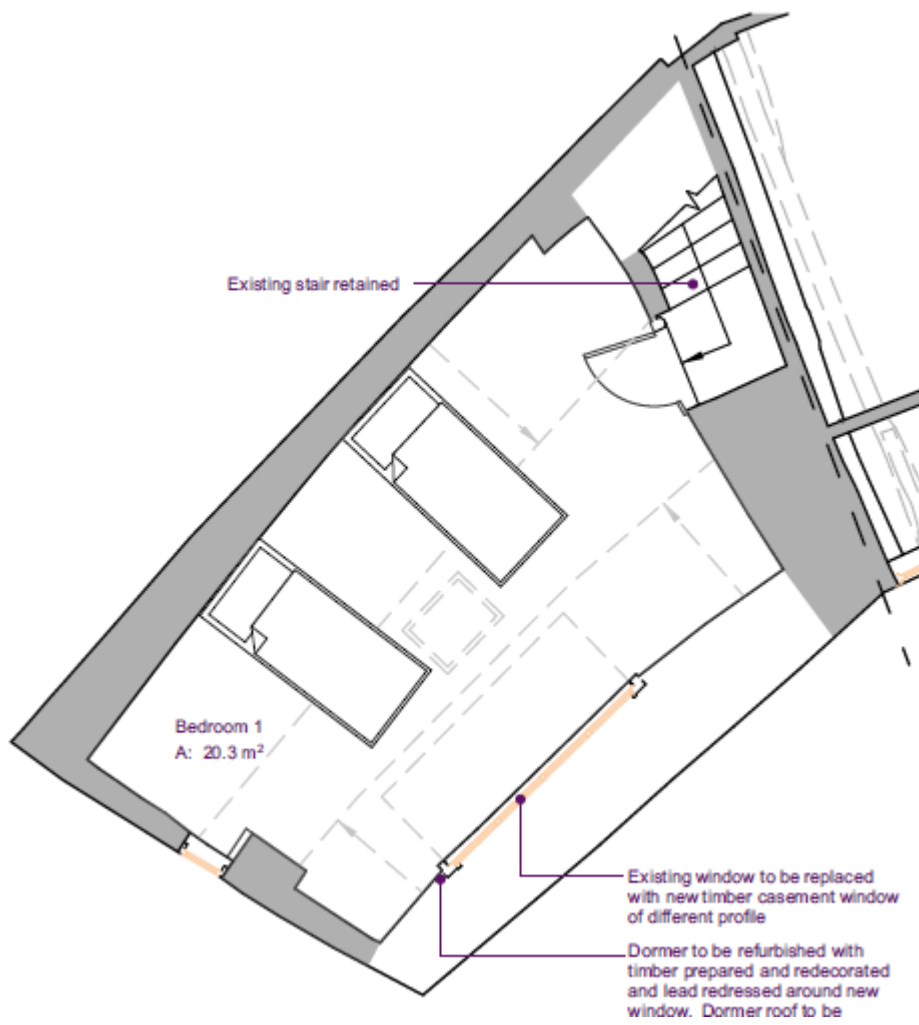
Proposed layout plan



Proposed ground floor plan



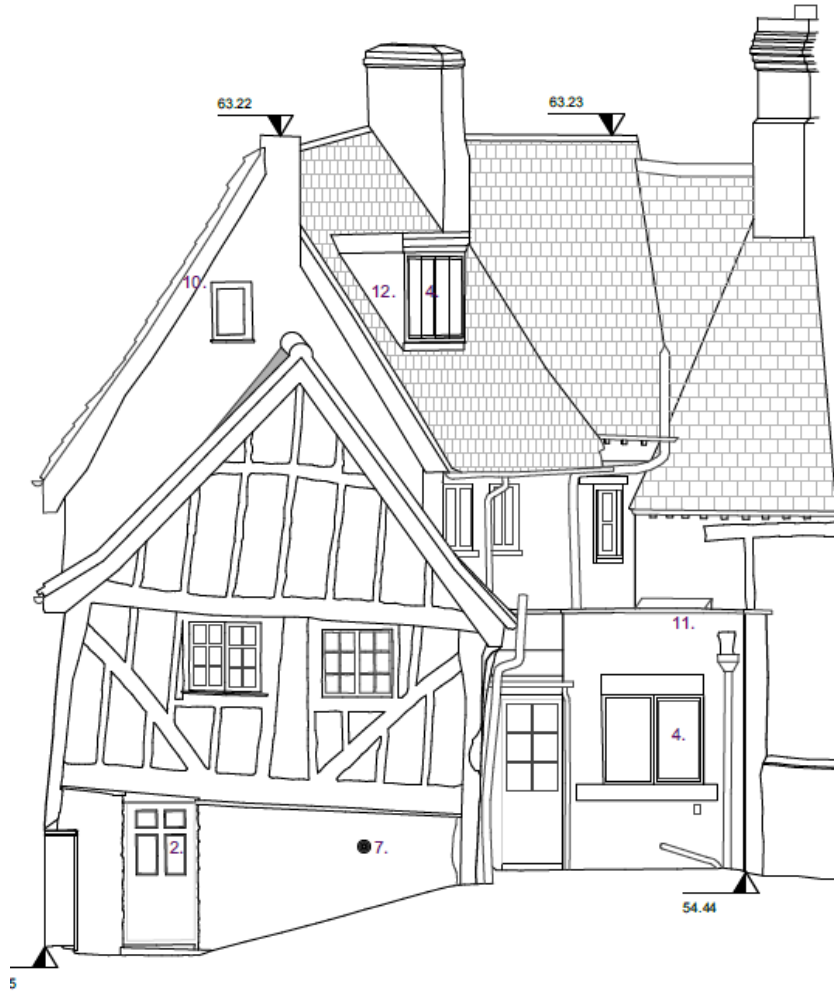
Proposed first floor plan



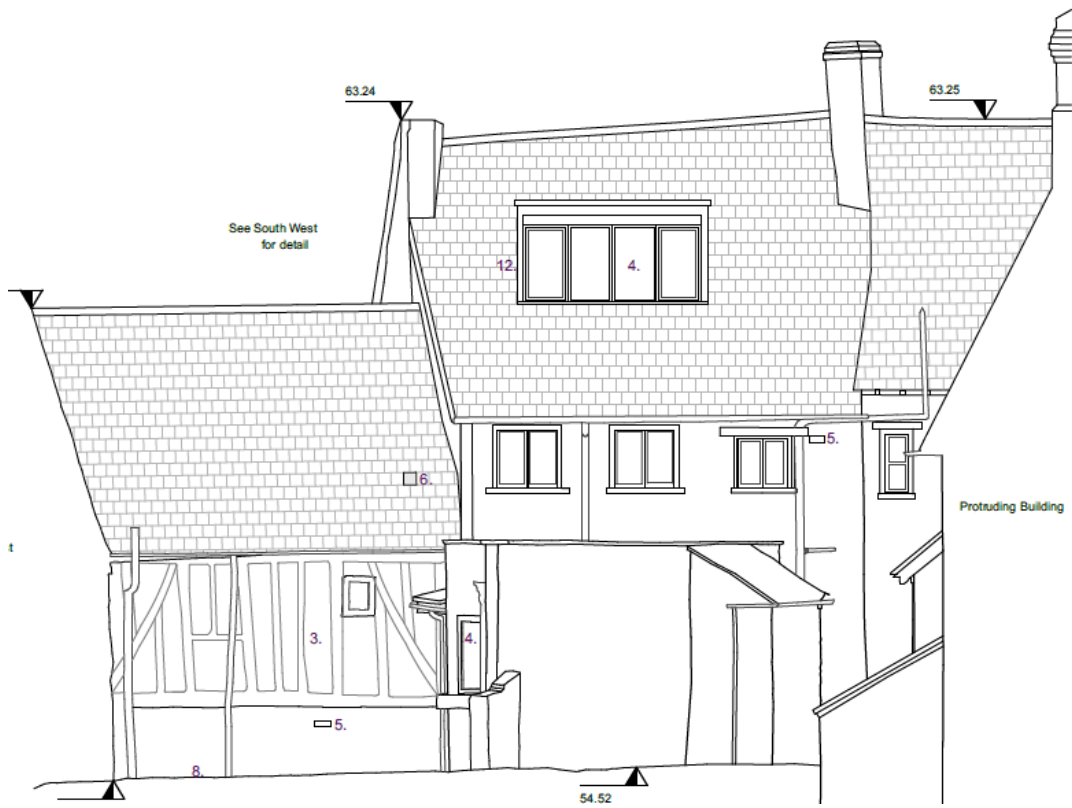
Proposed second floor plan



Proposed front, north west elevation to Michaelgate



Proposed side, south west elevation



Proposed rear, south east elevation



Front elevation to Michaelgate



Side and rear elevation from within site



View of part of front elevation (no. 40) and towards side elevation of 36 Michaelgate



Side elevation of 36 Michaelgate from lower yard, to serve no. 40

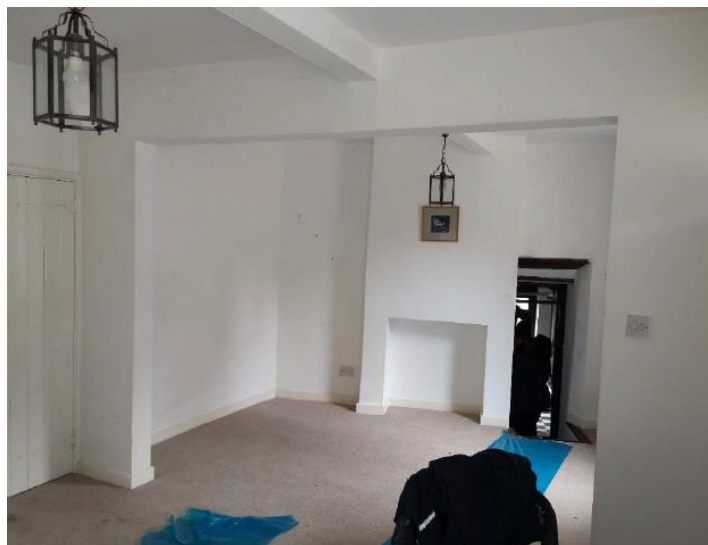


Side elevation of 36 Michaelgate from upper yard, to serve no. 42



Side elevation and garden of 36 Michaelgate

Photos of interior of building below







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Customer Details

Name: Beverley Newmarch

Address: Michaelgate House 36 Michaelgate Lincoln

Comment Details

Commenter Type: Neighbour

Stance: Customer objects to the Planning Application

Comment Reasons:

Comment: Your ref. 2021/0759/LBC

Our ref. Owner occupier of 36 Michaelgate

Firstly I welcome the refurbishment to this attractive building and as the only neighbour to it. I well know the value of the asset in the area observing the interest shown by visitors.

40 - 42 Michaelgate as per the application is accessed from outside directly into the bedroom which is unusual but as such does not effect my property except that it displaces the living accommodation to the 1st floor. Making the living accommodation at this level means the higher occupancy of this room looks directly into our bedroom, kitchen and dining room along with our garden space therefore effecting privacy.

The upper garden space to the rear of the properties away from the road has a low wall with a 2.7m drop into my garden. The new paved area is sited near this with potential safety, overlooking and privacy issues with the potential for at least 6 people using this area.

We would welcome a site meeting to illustrate the points raised.

Warren Peppard
Head of Development Management
Lincolnshire County Council
County Offices
Newland
Lincoln LN1 1YL
Tel: 01522 782070
HighwaysSUDsSupport@lincolnshire.gov.uk

To: Lincoln City Council

Application Ref: 2021/0759/LBC

Proposal: **Internal and external alterations to facilitate conversion to two holiday lets. Internal alterations including new partitions, re-pointing of stone walls with lime mortar, replacement of brick wall with reclaimed bricks, new limecrete floor, damp proof works, removal of staircase and alterations to retained staircase. External alterations including re-roofing of single storey flat roof off-shoot and installation of conservation rooflight, replacement timber windows, refurbishment of windows and dormer, removal of render from south east elevation to expose timber frame, replacement of concrete slabs with Yorkstone paving and refurbishment of gates. (Listed Building Consent)**

Location: **40 - 42 Michaelgate, Lincoln, LN1 3BT**

With reference to the above application received 23 September 2021

Notice is hereby given that the County Council as Local Highway and Lead Local Flood Authority:

Does not wish to restrict the grant of permission.

This proposal will have no impact on the highway or surface water flood risk.

Highway Informative 08

Please contact the Lincolnshire County Council Streetworks and Permitting Team on 01522 782070 to discuss any proposed statutory utility connections and any other works which will be required within the public highway in association with the development permitted under this Consent. This will enable Lincolnshire County Council to assist in the coordination and timings of these works.

For further guidance please visit our website via the following links:

Traffic Management - <https://www.lincolnshire.gov.uk/traffic-management>

Licences and Permits - <https://www.lincolnshire.gov.uk/licences-permits>

NO OBS

Having given due regard to the appropriate local and national planning policy guidance (in particular the National Planning Policy Framework), Lincolnshire County Council (as Highway

Authority and Lead Local Flood Authority) has concluded that the proposed development is acceptable and accordingly, does not wish to object to this planning application.

Case Officer:

Date: 4 October 2021

Becky Melhuish

for Warren Peppard
Head of Development Management

Application Number: 2021/0759/LBC

Address: 40 - 42 Michaelgate Lincoln Lincolnshire LN1 3BT

Proposal: Internal and external alterations to facilitate conversion to two holiday lets. Internal alterations including new partitions, re-pointing of stone walls with lime mortar, replacement of brick wall with reclaimed bricks, new limecrete floor, damp proof works, removal of staircase and alterations to retained staircase. External alterations including re-roofing of single storey flat roof off-shoot and installation of conservation rooflight, replacement timber windows, refurbishment of windows and dormer, removal of render from south east elevation to expose timber frame, replacement of concrete slabs with Yorkstone paving and refurbishment of gates. (Listed Building Consent).

Case Officer: Marie Smyth

Consultee Details

Name: Ms Catherine Waby

Address: St Mary's Guildhall, 385 High Street, Lincoln LN5 7SF

Email: Not Available

On Behalf Of: Lincoln Civic Trust

Comments

NO OBJECTION

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